



Planning and Zoning Commission
Agenda

Tuesday, December 3, 2024
at 7:00 p.m.

Location: 56 SW Malone St Fairburn, GA 30213

A. Call to Order

B. Determination of a Quorum

C. Pledge of Allegiance

D. Approval of the Meeting Agenda

E. Approval of the Meeting Minutes

- 1. Approval of the November 2024- Regular Meeting Minutes

F. Public Comments

1. Old Business Rezoning & Concurrent Variances (Table)

Applicant: c/o Steven L. Jones, Taylor English Duma LLP

Property Owner: KBD FAIRBURN, LLC

Property Location: 5650 Milam Road (Parcel ID # 09F020200130436)

The applicant is requesting approval to rezone the parcel from C-2 (General Commercial Zoning District) to PD (Planned Development Zoning District). The applicant has also submitted a request for a concurrent variance related to open space, use, and parking reduction.

G. Public Hearings

H. New Business

1. Rezoning, Use Permit, and Comprehensive Land Use Amendment (CLUP)

Property Owner Name	Address	Tax Parcel
Richard L Benton	8125 Bohannon Drive	09F010000110654
Catherine Benton	8145 Bohannon Road	09F010000110662
Catherine Benton	8145 Bohannon Road	09F010000110365
Brian Dickson	8155 Bohannon Drive Rear Lot	09F010000114227
Richard L Benton	8155 Bohannon Drive	09F010000110100
Jonathan William Glisson	8156 Bohannon Drive	09F010000110571
Guy W Lassiter & Phyllis M Lassiter	8355 Bohannon Road	09F010000110266
Aaron Matthew Shinstine	8365 Bohannon Road	09F010000110647
Abigail Shinstine (Bottlerocket Enterprises, LLC)	9301 Bohannon Road	09F010000110563
Edward Shinstine	8385 Bohannon Drive	09F010000110548

Summary: The applicant requests approval to rezone the parcels from AG-1 to M-1. The application also includes a use permit to allow Data Centers and a request to change the Comprehensive Plan land use (CLUP) designations from– Rural Residential and Greenspace to Office – Industrial.

2. Evergreen (Final Plat)

Applicant: DRB Group Georgia, LLC

Property Owner: DRB Group Georgia, LLC

Property Location: 294 Elder Street (09F171000670178), 296 Elder Street (09F171000670244),

0 Strickland (09F171000670137), 246 Strickland Street

(09F171000670129), 260 Elder Street (09F171100670029), and 270

Elder Street (09F171100670011)

Summary: The applicant requests approval of the final plat.

3. Renaissance Parkway (Final Plat/Dedication)

Applicant: Douglas A. Shumate

Property Owner: OCP FAIRBURN LLC

Property Location: Renaissance Parkway (consisting of approximately 2.741 acres)

Summary: The applicant is requesting approval to dedicate without limitation all those described roads, utility easements, water easements, sewer easements, gas easements, storm water easements and related infrastructure.

4. Concept Plan

Meadow Glen Village

Applicant: Portman Residential, LLC

Request approval of the concept plan for the mixed-use development.

Location: Highway 74/Senoia Road and Meadow Glen Parkway., Parcel No. 09F020100121014 and Parcel #09F070000271062

Summary: The applicant requests approval of the Concept Plan.

I. Other Business

J. Adjournment



Planning and Zoning Commission
48-Hour Action Summary
City Hall: 56 Malone Street,
Fairburn, GA 30213
Tuesday, November 5, 2024
7:00 p.m.

LaVone Deavers, Chair
Michelle James
Lina Parker
Elizabeth Echols
Tony Smith

Planning Director: Denise Brookins
Planner: Chancellor Felton
City Attorney: Valerie Ross

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- A. Call to Order:** The meeting was called to order at 7:00 pm by Chairwoman Deavers.
 - B. Determination of a Quorum:** A quorum was determined, and the meeting proceeded.
 - C. Pledge of Allegiance**
 - D. Approval of the Meeting Agenda:**
 - 1. Commissioner James made a motion to amend and approve the agenda. Commissioner Echols seconded.
THE MOTION CARRIED.
 - E. Approval of the Meeting Minutes:**
 - 1. Commissioner Echols made a motion to approve the October 1, 2024, minutes. Commissioner Parker seconded.
THE MOTION CARRIED.
 - F. Public Comments:** None.
 - G. Old Business:** None.
 - H. Public Hearings:** None.
 - I. New Business:**
 - 1. **Rezoning & Concurrent Variances**
Applicant: KBD FAIRBURN, LLC c/o Steven L. Jones, Taylor English Durma LLP
Property Owner: KBD FAIRBURN, LLC
Location: 5650 Milam Road (Parcel ID # 09F020200130436)
Request: 1) To rezone the Subject Parcel from C-2 (General Commercial Zoning District) to PD (Planned Development Zoning District). 2) To reduce the Minimum Parking Spaces from 2 Parking Spaces per Dwelling Unit to 1.5 Parking Spaces per Dwelling Unit (Chapter 80 Zoning, Article IX Off-Street Parking, Loading, and Landscape Requirements, Section 337 Off-street parking requirements, b schedule, 1). 3) To allow for Multi-family Uses along the Perimeter (Chapter 80 Zoning, Article II Zoning Districts, Division 2 District Regulations, Section 87 PD (Planned Development Zoning District), i Other minimum standards, 3). 4) To allow for Multi-family Units to

exceed 25% of the Total Number of Dwelling Units (Chapter 80 Zoning, Article II Zoning Districts, Division 2 District Regulations, Section 87 PD (Planned Development Zoning District), i Other minimum standards, 5). 5) To allow for the Common Outdoor Area to be less than 25% of the Total Site Area (Chapter 80 Zoning, Article II Zoning Districts, Division 2 District Regulations, Section 87 PD (Planned Development Zoning District), i Other minimum standards, 6 Minimum common outdoor area).

Commissioner Echols motioned to **TABLE**. Commissioner Smith seconded.

THE MOTION CARRIED.

2. **Rezoning and Current Use Permit**

Applicant: Vida Fairburn Development

Property Owner: Saben LLC

Location: Senoia Rd (Parcel ID # 09f020300080267)

Request: The applicant is requesting to rezoning the parcel from C-2 to Planned Development to construct a mixed-use project with commercial, office, and multifamily apartments. The applicant has also submitted a request a concurrent variance to reduce the parking and open space requirements.

- a. Chairwoman Deavers introduced the case. Denise Brookins presented the case on behalf of Staff. Staff made a recommendation for approval. Chairwoman Deavers opened the floor for the Commission to ask Staff questions.
- b. Commissioner James wanted to know if the development is behind the Georgia World of Beverage. Director Brookins said yes.
- c. The applicant presented to the Commission.
- d. Director Brookins stated Staff recommends approval for the concurrent variances.
- e. Commissioner James asked about parking. Director Brookins stated that multi-family units are currently held to the same parking standards as single-family homes, which causes a hardship for multi-family developments.
- f. Commissioner Parker asked about the price point of the units. The applicant said that 1-bedrooms will be from \$1600-1700, 2-bedrooms will be from \$1850-1950, and 3-bedrooms will be \$2100-2200.
- g. Commissioner James asked about the coworking space. The applicant explained that the coworking space can be used for everyday work or work meetings. Commissioner James asked where the coworking space would be. The applicant stated where the coworking space would be. Commissioner James asked if residents would pay to use the coworking space. The applicant said no.
- h. Commissioner Parker asked what type of restaurants would they target for the retail space. The applicant said that they are open to any concept.
- i. Commissioner Echols asked if the amenities are for residents or the public. The applicant said that the pool area will be for the residents, the commercial spaces will be open to the public, and the coworking space will be open to the public as well.
- j. Commissioner Echols asked about a traffic signal on Senoia Road. The applicant said no.
- k. Commissioner Smith asked about the timeframe for the widening of Senoia Road. The applicant said no. Commissioner Smith said are you aware of the traffic from Peachtree City to Fairburn on Senoia Road. The applicant said yes, but not as much as Commissioner Smith.

- I. Commissioner Echols asked if they had investigated the ingress and egress of the property. The applicant stated that they investigated the vehicle count, not the vehicle movements in their traffic study.

Commissioner Echols motioned to recommend **CONDITIONAL APPROVAL**. Commissioner Smith seconded.

THE MOTION CARRIED.

3. **Use Permit**

Applicant: T5 Data Center

Property Owner: Knowles Trucking CO Inc

Location: Gullatt Road, Parcel ID: 07 380001570200, 07 380001570168, 07 290001560467

Request: The applicant requests approval of the use permit for a data center.

- a. Chairwoman Deavers introduced the case. Denise Brookins presented the case on behalf of Staff. Staff made a recommendation for approval. Chairwoman Deavers opened the floor for the Commission to ask Staff questions.
- b. Chairwoman Deavers asked if this data center is on Bohannon Road. Director Brookins stated no, it is on Gullatt Road. The data center on Bohannon Road is in the Developments of Regional Impact (DRI) Review process. This data center did not have to go through the DRI Review process because it did not meet the minimum requirements for such.
- c. Commissioner James asked if the elevation is based on a location in Alpharetta. Director Brookins said the applicant could answer that question. The applicant does have a location in Alpharetta.
- d. Commissioner Echols asked if the City will economically gain from the development and where the water is coming from. Director Brookins said that their water will not come from the City and the Use Permit review does not investigate economic gain as a standard.
- e. Commissioner Echols asked about health effects on the surrounding area. Director Brookins said that the applicant can speak more to the noise study and that the development is not situated around an immediate residential neighborhood.
- f. Commissioner Parker asked what is the nearest subdivision to the development. Director Brookins said that the nearest subdivision is far away from the development.
- g. The applicant presented to the Commission.
- h. Commissioner James asked if the data center would cater to multiple companies or just one. The applicant said multiple.
- i. Commissioner Smith asked if you could ensure the City that the development would not pose a hazard to the residents if something goes wrong. The applicant said that they could not.

Commissioner James motioned to recommend **CONDITIONAL APPROVAL**. Commissioner Smith seconded.

THE MOTION CARRIED.

4. **Text Amendment**

Applicant: Ralsh & Toni Wilburn

Property Owner: Ralsh & Toni Wilburn

Request: The applicant requests approval to change the setback requirements for Portable Accessory Structures.

- a. Chairwoman Deavers introduced the case. Chancellor Felton presented the case on behalf of Staff. Staff made a recommendation for approval. Chairwoman Deavers opened the floor for the Commission to ask Staff questions.
- b. Commissioner James asked what was the applicant proposing. Planner Felton said that the applicant was proposed a carport in their side setback area.
- c. The applicant was absent. No comments were made.

Commissioner Smith motioned to recommend **APPROVAL**. Commissioner Echols seconded.

THE MOTION CARRIED.

5. **Rezoning**

Applicant: Dog River Investments LLC

Property Owner: Dog River Investments LLC

Location: 224 Senoia Road (Parcel ID # 09F101500470241)

Request: To rezone the Subject Parcel from R-3 (Single-family Residential Zoning District) to O&I (Office & Institutional Zoning District).

- a. Chairwoman Deavers introduced the case. Chancellor Felton presented the case on behalf of Staff. Staff made a recommendation for approval. Chairwoman Deavers opened the floor for the Commission to ask Staff questions.
- b. No questions were asked.

Commissioner Echols motioned to recommend **CONDITIONAL APPROVAL**. Commissioner Smith seconded.

THE MOTION CARRIED.

J. Other Business:

1. Director Brookins will have the proposed calendar for the next year.
2. Director Brookins thanks the Commission for their work. Thank you!

K. Adjournment:

1. Commissioner James motioned to adjourn the public meeting at 7:59 pm. Commissioner Echols seconded.

THE MOTION CARRIED.

OLD BUSINESS



1. Project Name: KBD FAIRBURN, LLC Business Rezoning & Concurrent Variance (Table)

- Applicant: c/o Steven L. Jones, Taylor English Duma LLP
- Property Owner: KBD FAIRBURN, LLC
- Property Location: 5650 Milam Road (Parcel ID # 09F020200130436)
- The applicant is requesting approval to rezone the parcel from C-2 (General Commercial Zoning District) to PD (Planned Development Zoning District). The applicant has also submitted a request for a concurrent variance related to open space, use, and parking reduction.

November 21, 2024

VIA EMAIL: sbrookins@fairburn.com

Ms. Denise Brookins
Director of Planning and Zoning
City of Fairburn, Georgia
Fairburn Administration Building
314 NW Broad Street
Fairburn, GA 30213

RE: 5650 Milam Road, also identified as Fulton County Tax Parcel Identification Number 09F020200130436 (the “Property”); and Rezoning Application and Variance Application for the Properties (collectively, the “Application”).

Dear Ms. Brookins:

Please accept this letter as the amended Letter of Intent and Impact Analysis of KBD Fairburn, LLC (“**KBD**”, the “**Owner**”, or the “**Applicant**”) regarding the Application, which was previously filed with the City of Fairburn, Georgia (the “**City**”) and your department.

The Application requests the City Council of the City continue the development trend along the SR-74/Senoia Road corridor between Interstate 85 to the North and the southern boundary of the City to the South. On both sides of SR-74/Senoia Road, this trend has permitted the development of highway commercial uses fronting on SR-74/Senoia Road with a step down in use intensity to multi-family and mixed-use multi-family behind the highway commercial uses. And, this trend is especially evident along Renaissance Parkway, on which the Property fronts.

Consistent with these established development trends and the City’s Comprehensive Plan 2020-2024 (the “**Comprehensive Plan**”), the Application proposes a mixed-use development on the Property (the “**Development**”) that includes approximately 5,699 square feet of ground-level retail fronting on Renaissance Parkway, 252 multi-family dwellings, and conservation/open space that preserves, among other things, an existing and established pond on the Property.

The concept plan (the “**Concept Plan**”), building elevations, and renderings submitted with the Application further show that the proposed Development is

consistent with the development trend in the surrounding area.

The Rezoning Application requests that the Council rezone the Property from C-2 (General Commercial) to PD (Planned Development). The Variance Application requests that concurrent with the Rezoning Application, the City Council grant the following concurrent variances from Sections 80-337(b)(1) (regarding the number of parking spaces per dwelling) of Chapter 80 (the “**Zoning Ordinance**”) of Part II of The Code of Ordinances of Fairburn, Georgia.

Specifically, the Variance Applications requests that, consistent with other developments within the City, the required number of parking be reduced from 2 off-street spaces per dwelling, under Section 80-337(b)(1) of the Zoning Ordinance, to 1.5 spaces per dwelling.

* * *

Section 80-300(a) of the Zoning Ordinance sets forth certain standards of review for the Rezoning Application. Below, those standards are restated in bold typeface followed by the Owner/Applicant’s analysis of each factor.

- (1) **Whether the proposal is consistent and/or compatible with the city’s plans, goals and objectives reflected in the city’s comprehensive plan.**

As shown in the excerpt below, the Comprehensive Plan of the City designates the State Route 74 / Senoia Road—the only north-south principal arterial road in the City—corridor between Interstate 85 North and the Fulton County line, which is also the City’s southern boundary, as being within the “Highway Mixed Use” character area. (Comprehensive Plan, pp. 36, 65).



(Comprehensive Plan, p. 36)

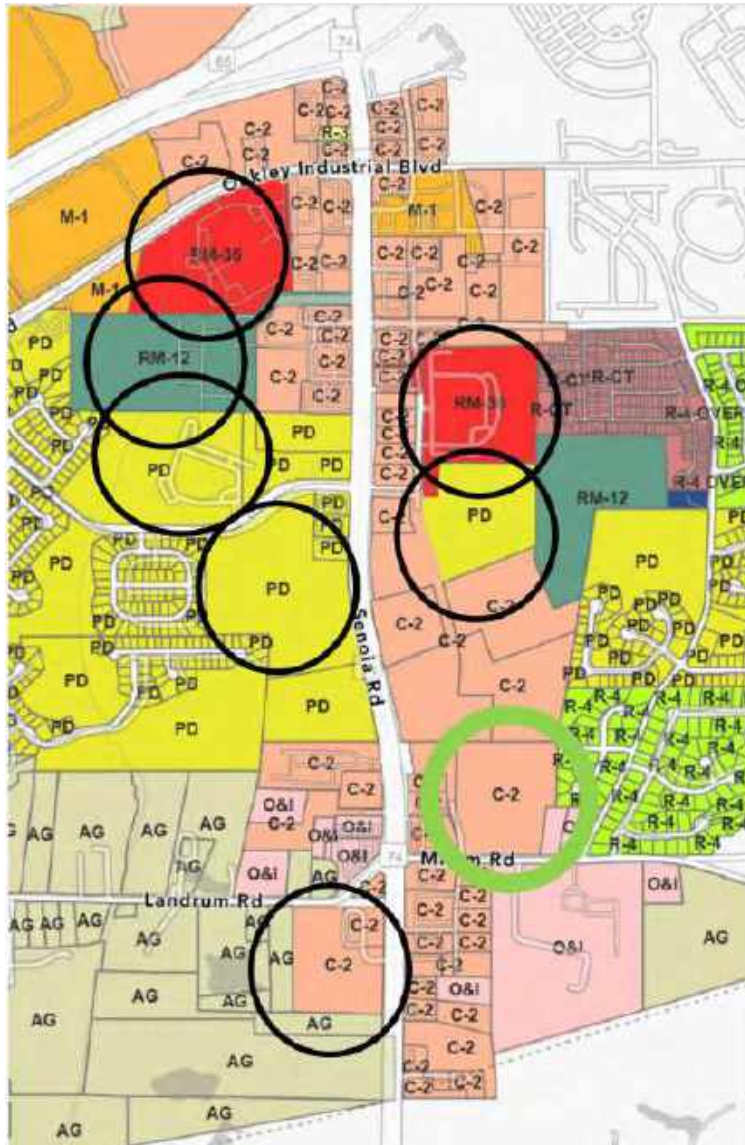
“Appropriate zoning districts in th[is] . . . Character Area include C-1, C-2, O & I, R-CT, RM-12, RM-36, and PD.” (Comprehensive Plan, p. 41). And, appropriate land uses within this character area include mixed-use developments, various commercial uses, and multi-family housing. The Application, therefore, complies with the City’s policy and vision for the Highway 74 / Senoia Road corridor and the Highway Mixed Use character area.

The goals for the Highway Mixed Use character area, include using “multi-family and townhomes . . . as a transition from the intense commercial use [fronting on Highway 74 / Senoia Road] to the residential areas.” (Comprehensive Plan, p. 41). These goals also include “[l]imiting multi-family densities to no more than 36 units an acre” and limiting “[b]uilding height . . . to four (4) stories.” (*Id.*). The development trend in the corridor has carefully and successfully achieved these goals. KBD respectfully requests that the City Council continue to implement the goals and vision of the Comprehensive Plan by approving the Application.

The Comprehensive Plan further seeks to “minimize the impact of commercial areas on surrounding uses by considering their additional vehicular traffic generation, the potential of their aesthetics on the site and surrounding properties and ensuring compatibility.” (*Id.*).

Additionally, as shown in the excerpt of the City’s zoning map below, the Highway 74 / Senoia Road corridor has been zoned consistent with the

Comprehensive Plan, with commercial uses fronting the highway and mixed-use (with multi-family) and multi-family developments behind the highway commercial frontage on both sides of State Route 74 / Senoia Road. Behind those mixed use developments are, generally, single-family uses. In the excerpt of the zoning map below, developments with multi-family uses are circled in black and the subject property is circled in green. Please note that the map has not yet been updated by the City to reflect the zoning of the southwestern most comparable development.



The Property is currently zoned C-2 (General Commercial) which permits as a matter of right a vast area of high-intensity commercial uses. Zoning Ordinance § 80-84). In the C-2 zoning district, a building can have a maximum lot coverage of 50 percent. The Property is 14.22 acres, meaning that as presently zoned the Property could be development with commercial buildings of approximately 300,000 square feet.

A commercial development, such as that currently permitted on the Property as a matter of right, would create substantially more traffic than the residentially focused, mixed-use development proposed by the Application. The proposed development also furthers the Comprehensive Plan's objectives by using multi-family buildings within the Development "as a transition from the intense commercial use[s]" along the highway frontage "to the residential uses" adjacent to the Property.

- (2) How the proposal impacts the purposes of the overall zoning scheme, and whether the proposed change furthers the purposes of these zoning regulations. Applications for zoning amendments that do not contain specific site plans carry a rebuttable presumption that the proposed change shall adversely affect the zoning scheme.**

As noted above, the proposed Development is consistent with the zoning scheme and furthers the purpose of the Zoning Ordinance. And the concept plan submitted with the Application shows that the proposed Development is consistent in types and density of uses with other similarly situated developments within the surrounding area and, thus, the overall zoning scheme.

- (3) How the proposal impacts the character of the zoning district, the particular piece of property, neighborhoods, or the community.**

The proposed Development will have a positive impact on the character of the PD zoning district, the Property, the surrounding area/neighborhoods, and the community. The Development proposed by the Application is consistent with the City's Comprehensive Plan as well as the zoning and development trend in the surrounding area and on similarly situated properties. Additionally, the proposed Development will reduce the traffic impact that would occur from a development on the Property under the C-2 zoning district presently applied to the Property.

- (4) Whether the proposal creates an isolated district unrelated to adjacent properties and nearby districts.**

The Development will not create an isolated district unrelated to adjacent properties and nearby districts. The excerpt of the zoning map above shows that the Development is consistent with the zoning trend in the SR-74 corridor to PD developments and the mixed-use and multi-family developments on similarly situated properties fronting on Renaissance Parkway.

- (5) How the proposal impacts the aesthetic character of existing and future uses of the property and the surrounding area.**

As shown by the renderings and elevations submitted with the Application, the proposed development is consistent with the aesthetic character of existing uses of the surrounding area. The buildings are designed to continue to mixed-use, step down uses to the north of the Property on Renaissance Parkway and to the west of SR-74. Thus, the Development will further the existing and future aesthetic character of the property and the surrounding area.

(6) Whether the proposal is consistent with adjacent development densities and the density patterns reflected in the comprehensive plan.

As noted above, the proposed Development is consistent with the development trend of the SR-74 corridor and other mixed-use and multi-family developments on Renaissance Parkway and within the SR-74 corridor. Additionally, as also noted above, the Development is consistent with the Comprehensive Plan and the density patterns reflected therein.

(7) How the proposal impacts the public health, safety, and general welfare.

The proposed Development will have a positive impact on the public health, safety, and general welfare. The Development is consistent with the City's Comprehensive Plan as well as the development and zoning trend of surrounding and similarly situated properties. Thus, the Development is consistent and follows the City's pattern, practice, and policy of permitting and encouraging developments such as the Development on similarly situated properties. This pattern, practice, and policy has demonstrated that the City believes developments, such as the Development, on similarly situated properties positively impact the public health, safety, and welfare.

(8) How the proposal impacts water, sewerage, other public facilities, or public services, and how the proposed amendment impacts expenditures of public funds.

Water, sewage, and other public facilities and services will not be negatively impacted by the proposed Development, and the Development will not negatively impact expenditure of public funds. The Owner/Applicant understands that there is adequate water and sewer capacity for the Development. Additionally, the proposed Development is designed to predominately consist of 1-bedroom and 2-bedroom units, marketed toward young-professionals, as opposed to families. In other words, the majority of the residents within the Development will be without children. Accordingly, the Development will have a minimal impact on schools. Based on the above, the proposed Development will have no negative impact on public facilities and services or expenditures of public funds.

(9) How the proposal impacts traffic safety and congestion.

As shown by the Traffic Impact Analysis (the "**Traffic Study**") prepared by Maldino and Wilburn, LLC, Traffic Consultants, and submitted with the Application,

the Development will not have a meaningful negative impact on intersections within the jurisdiction on the City. To the extent that the Development will have an impact on the intersection of SR 74 and Milam Road/Landrum Road that intersection is under the jurisdiction of the Georgia Department of Transportation (“GDOT”) and is the subject a GDOT corridor study and improvement plan. Accordingly, the Traffic Study does not recommend any mitigation for that intersection.

The Traffic Study also shows that development of the Property as presently zoned, i.e., if the Application was not approved, would generate more traffic than the Development proposed by the Application. Specifically, development on the Property with a grocery store and adjoining retail shops of 90,000 square feet total would generate 8,339 trips per day. Consequently, the Development will not have a negative impact on traffic safety and congestion.

(10) How the proposal impacts environmental conditions, including, but not limited to, drainage, soil erosion and sedimentation, flooding, air quality, water quality and quantity.

The Development will not have a negative impact on environmental conditions, such as drainage, soil erosion and sedimentation, flooding, air quality, and water quality and quantity. The Development will comply with all applicable laws, rules, and regulations regarding stormwater/flooding, water quality and quantity, soil erosion and sedimentation control, all of which require the Development to ensure the Development does not create negative impacts on the drainage, flooding risk, water quality and quantity, or soil erosion and sedimentation of adjoining, adjacent, and nearby properties.

(11) How the proposal impacts the provision of adequate light and air.

The provision of adequate light and air to adjoining properties will not be impacted by the Development. As shown by the concept plan submitted with the Application, the Development will include buffers around the exterior of the Property which will ensure that the buildings proposed as part of the Development will not affect the light or air provided to adjoining, adjacent, and nearby properties. Additionally, as shown by the Traffic Study submitted with the Application, the proposed Development will generate less traffic than development of the Property with a use permitted as a matter of right under the C-2 zoning district presently applied to the Property. Moreover, the Development is designed to ensure all residential units and amenities areas have sufficient light and air. Therefore, the Development will not have a negative impact on the provision of adequate light and air.

(12) How the proposal impacts the value of adjacent property.

The Development proposed by the Application will have a positive impact on the value of adjacent property. The Application proposes a Development that is a mixed-use development consistent with the zoning and development trend of similarly situated properties and is consistent with the Comprehensive Plan. Upon information and belief, that development trend and policy has produced positive appreciation of adjacent properties, and the same should hold true of properties adjacent to the Property.

(13) Whether there are substantial reasons why the property cannot be used in accordance with existing regulations.

The Property cannot be used in accordance with the existing zoning applied to the Property. The Property has been zoned C-2 for decades. And, the Owner/Applicant has owned the Property for 19 years, since 2005. During that time, the Owner/Applicant has sought to sell the Property to end users that would use the Property consistent with the C-2 zoning district presently applied to the Property. However, despite the Owner/Applicant's efforts, the market has not provided a buyer or use that can use the Property as presently zoned. Therefore, the Property does not have a viable economic use as presently zoned.

(14) Preservation of the integrity of residential neighborhoods shall carry greater weight than other factors. Where property fronts on a major thoroughfare and also adjoins an established residential neighborhood, the factor of preservation of the residential area shall carry greater weight.

The proposed development will help preserve the integrity of residential neighborhoods. As presently zoned, the Property could be developed for a vast array of commercial uses. Those commercial uses are more intense and, therefore, have potentially incompatible with adjacent residential development. On the other hand, the mixed-use development proposed by the Application (and as contemplated by the Comprehensive Plan) will provide a transition between the existing, highway commercial uses fronting on Highway 74 to a mixed-use development with residential and conservation uses adjacent to the single-family residential uses to the east of the Property. Accordingly, the Application will promote the preservation of the integrity of residential neighborhoods.

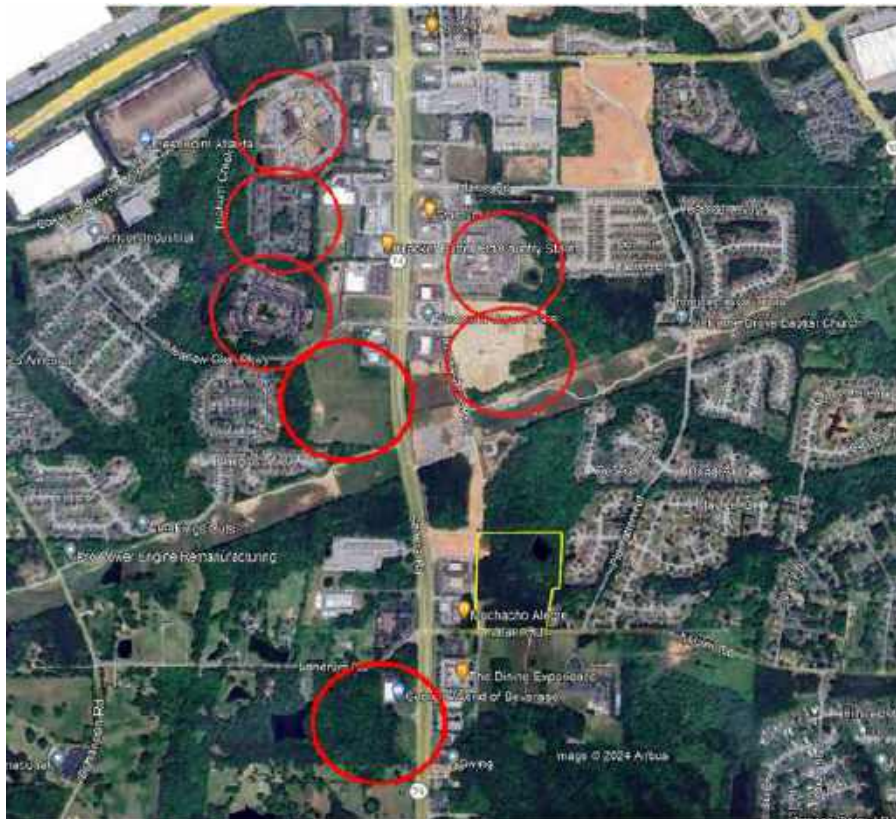
* * *

Section 80-300(d) of the Zoning Ordinances provides "general lines of inquiry" by which the City Council should evaluate any challenge to the existing zoning

classification applied to a property. Those “general lines of inquiry” are restated below along with the Owner/Applicant’s analysis thereof.

(1) The existing uses and zoning of the subject and surrounding property.

The existing uses and zoning of the Property and surrounding properties—as shown by the above excerpt of the zoning map and the annotated aerial map below—are highway commercial, multi-family, and detached single-family residential. The highway commercial uses are all fronted primarily along SR 74, with the exception of commercial uses that are part of mixed-use, multi-family developments; there is no standalone highway commercial fronting primarily on the access or side streets, such as Milam Road or Renaissance Parkway. Behind those highway commercial uses (i.e., to the immediate east or west of the highway commercial uses on SR 74) are multi-family, mixed-use with multi-family as the predominate use, and storage/warehousing developments and uses. Thus, the C-2 zoning district presently applied to the Property is not consistent with the uses and zoning of surrounding properties. And, the existing zoning of the Property has not led to constitutionally viable uses.



Showing developments consisting entirely or predominately of multi-family within the SR-74 corridor

(2) The extent to which property values may be diminished by the particular zoning restrictions.

The Property has proven to have no economic value as presently zoned, C-2. Within that zoning district, numerous commercial uses are permitted as a matter of right. However, as the market and development and zoning trends in the City have shown, such standalone commercial uses are not viable on the Property. In other words, the City's prior zoning decisions, the market, and the development trend in the area have shown that standalone, large commercial uses (as opposed to mixed-use developments), to be viable, must front on Highway 74 and not access streets, such as Renaissance Parkway or Milam Road.

(3) The extent to which the reduction of property values, if any, promotes the health, safety, morals or general welfare of the public.

The Property has no economic value as presently zoned and, given the development and zoning trend of the surrounding area and the City's Comprehensive Plan, the retention of the C-2 zoning district on the Property will not promote the health, safety, morals, or general welfare of the public. Instead, the health, safety, morals, and general welfare of the public would be promoted by the City Council's approval of the Application, consistent with the Comprehensive Plan and development and zoning trend in the surrounding area and SR-74 corridor.

(4) The relative gain to the public, as compared to the hardship, if any, imposed upon the individual property owner.

As noted previously in this letter, the public will gain by the approval of the Application—which is consistent with the Comprehensive Plan and the zoning and development trend of surrounding and similarly situated properties. The effectuation of the mixed-use desire for the SR 74 corridor in which the Property is located will further the development vision of the City. On the other hand, retaining the existing zoning on the Property will be a hardship on the Owner which has not been able to sell or use its property for an economically viable use during the almost 2 decades it has owned the Property. And, if the Application is not granted, then the public will gain nothing by the unconstitutional retention of a zoning district presently applied to the Property.

(5) The suitability of subject property for development purposes as presently zoned.

Despite the Owner's efforts and the development of similarly situated

properties, the Property has not been developed as presently zoned. Therefore, the market has unequivocally demonstrated that the Property cannot be developed as presently zoned. And, thus, the Property is not suitable for development purposes as presently zoned.

- (6) The length of time the property, if vacant, has been vacant as zoned, considered in the context of land development in the vicinity of the property.**

The Property has been vacant since the Owner acquired the property in 2005, 19 years ago. The Property has been zoned C-2 for the duration of its vacancy. However, the surrounding area has developed as detailed previously in this letter. And, most telling, similarly situated properties have been developed with developments (*e.g.*, the Dylan and the Oslo multi-family developments) substantially similar to the Development proposed by the Application.

VARIANCE APPLICATION

Regarding the Variance Application, Section 80-251 of the Zoning Ordinance sets forth certain factors and if any one of those factors is met a concurrent variance may be granted. Below, those factors are restated in bold typeface followed by the Owner/Applicant's analysis of each factor.

- (1) Relief, if granted, would be in harmony with, or, could be made to be in harmony with, the general purpose and intent of this chapter; or**

The relief sought, if granted, is necessary for the Development to be constructed as proposed. And, granting that relief would be in harmony with the general purpose and intent of the Zoning Ordinance. The general purpose and intent of the Zoning Ordinance includes the following:

- (a) "lessening congestion in the streets" which the Traffic Study shows that the proposed Development will do (Zoning Ordinance § 80-3);
- (b) "providing adequate light and air" which the proposed Development will accomplish, as detailed above (Zoning Ordinance § 80-3);
- (c) "encouraging such timing, density[,] and distribution of land development and uses as will facilitate an economic and adequate provision of transportation, . . . water supply, drainage, . . . recreation and other public requirements," which this letter has previously demonstrated the proposed Development will do;
- (d) "encouraging the most appropriate use of land, buildings, and other structures," which the Application will do, as demonstrated by the

inability of the Owner/Applicant to sell the property as currently zoned and the development and zoning trend of nearby and similarly situated properties; and

- (e) above all, “promoting desirable living environments, stable neighborhoods, sound commercial and industrial areas”

(Zoning Ordinance § 80-3). Additionally, as previously detailed, the proposed Development is consistent with the City’s Comprehensive Plan as well as the development and zoning trend in the surrounding area and on similarly situated properties.

- (2) The application of the particular provision of this chapter to a particular piece of property, due to extraordinary and exceptional conditions pertaining to that property because of its lot size, shape, or topography, would create an unnecessary hardship for the owner while causing no detrimental to the public; or**

The variances requested are consistent with the development of other PD districts within the City, within the SR 74 corridor, and on properties similarly situated to the Property. Namely, other similarly situated developments have residential and commercial mixtures consistent with that sought by the Application and parking spaces consistent with the number sought by the Application. Additionally, extraordinary and exception market conditions due to the lot size and location have shown that there is not a market for the same as presently zoned.

- (3) Conditions resulting from existing foliage or structures bring about a hardship whereby a sign meeting minimum letter size, square footage and height requirements cannot be read from an adjoining public road.**

The foregoing factor is not relevant to the Application and, therefore, not addressed in this letter.

Enclosed for consideration by the Council the City prior to the Council’s official action on the Application for the Property, are the enclosed Constitutional Objection and York Objection of the Owner/Applicant regarding the Application. As you know, these objections are standard procedural requirements imposed by decisions of Georgia’s appellate courts.

The Owner/Applicant respectfully requests that the Council approve the Application as presented without conditions or with only the conditions consented to by the Owner/Applicant.

City Council of Fairburn, Georgia

November 21, 2024

Page 13 of 12

Should you have any questions or concerns regarding this letter or its attachments/enclosures, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Steven L. Jones", written in a cursive style.

Steven L. Jones

Enclosures

cc: The Owner/Applicant

Valerie A. Ross, City Zoning Attorney (via email: vross@lawtrg.com)

EXHIBIT “A”

CONSTITUTIONAL OBJECTION

As applied to the real property of KBD Fairburn, LLC, a Georgia limited liability company (the “Owner” and/or the “Applicant”) which is identified as Fulton County Tax Assessor Parcel No. (“TPN”): 09F020200130436 (the “Subject Property”) and is the subject of the rezoning application and variance application (collectively, the “Application”) both filed herewith, if the Application is not approved or is approved with condition(s) not consented to by the Owner/Applicant, the Code of Ordinances of Fairburn, Georgia (the “Code”), Part II, Chapter 80 (the “Zoning Ordinance”) will be unconstitutional in that the Owner/Applicant’s property rights in and to the Subject Property will be destroyed without first receiving fair, adequate, and just compensation for such property rights. As applied to the Subject Property, in such case, such action on the Application and the Zoning Ordinance will deprive the Owner/Applicant of constitutionally protected rights in violation of the Just Compensation Clause of the Fifth Amendment to the Constitution of the United States of America; Article I, Section I, Paragraphs I-II of the Constitution of the State of Georgia of 1983; Article I, Section III, Paragraph I of the Constitution of the State of Georgia of 1983; and the Due Process and Equal Protection Clauses of the Fourteenth Amendment to the Constitution of the United States of America.

If the Application is not approved or is approved with condition(s) not consented to by the Owner/Applicant, such action on the Application and application of the Zoning Ordinance to the Subject Property will be unconstitutional, illegal, arbitrary, capricious, null, and void, constitute a taking of the Subject Property in

EXHIBIT "A"

violation of the Just Compensation Clause of the Fifth Amendment to the Constitution of the United States of America; Article I, Section I, Paragraphs I-II of the Constitution of the State of Georgia of 1983; Article I, Section III, Paragraph I of the Constitution of the State of Georgia of 1983; and the Equal Protection and Due Process Clauses of the Fourteenth Amendment to the Constitution of the United States of America thereby denying the Owner/Applicant an economically viable use of the Subject Property while not substantially advancing legitimate state interests.

Inasmuch as it is impossible for the Owner/Applicant to use the Subject Property and simultaneously comply with the Zoning Ordinance and in the event the Application is not approved or is approved with condition(s) not consented to by the Owner/Applicant, such action on the Application and application of the Zoning Ordinance to the Subject Property will constitute arbitrary, capricious, and unreasonable acts by the City of Fairburn, Georgia, by and through the City Council of the City, without any rational basis therefor and constitute abuses of discretion in violation of the Just Compensation Clause of the Fifth Amendment to the Constitution of the United States of America; Article I, Section I, Paragraphs I-II of the Constitution of the State of Georgia of 1983; Article I, Section III, Paragraph I of the Constitution of the State of Georgia of 1983; and the Due Process and Equal Protection Clauses of the Fourteenth Amendment to the Constitution of the United States of America.

If the Application is not approved or is approved with condition(s) not consented to by the Owner/Applicant, such action on the Application and application

EXHIBIT "A"

of the Zoning Ordinance to the Subject Property will be unconstitutional and discriminate against the Owner/Applicant in an arbitrary, capricious, and unreasonable manner between the Owner/Applicant and others similarly situated in violation of Article I, Section I, Paragraph II of the Constitution of the State of Georgia of 1983 and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States of America.

WHEREFORE, the Owner/Applicant requests that the City (by and through the City Council of the City) approve the Application, as specified and designated therein, without conditions or with only condition(s) consented to by the Owner/Applicant.

Respectfully submitted this 21st day of November 2024.

TAYLOR ENGLISH DUMA LLP
Counsel for the Owner/Applicant

/s/ Steven L. Jones

Steven L. Jones
Georgia State Bar No.: 639038

1600 Parkwood Circle
Suite 200
Atlanta, Georgia
30339
(678) 336-7282
sjones@taylorenghish.com

EXHIBIT “B”

OBJECTION TO AND FOR ZONING HEARINGS BASED ON YORK V. ATHENS COLLEGE OF MINISTRY, INC.

As applied to the real property of KBD Fairburn, LLC, a Georgia limited liability company (the “Owner” and/or the “Applicant”) which is identified as Fulton County Tax Assessor Parcel No. (“TPN”): 09F020200130436 (the “Subject Property”) and is the subject of the rezoning application and variance application (collectively, the “Application”) filed herewith, the public hearing regarding and any action of the City of Fairburn, Georgia (the “City”), by and through the City Council (the “City Council”) of the City, on the same are objected to by the Owner/Applicant based on, but not limited to, the reasons set forth herein (collectively, the “York Objection” and each an “Objection”), in accordance with *York v. Athens College of Ministry, Inc.*, 348 Ga. App. 58, 821 S.E.2d 120 (Ga. Ct. App. 2018):

Contemporaneous with the filing of this *York* Objection, the Owner/Applicant is filing a Constitutional Objection to any action by the City Council that does not approve the Application or approves the Application with condition(s) not consented to by the Owner/Applicant, and all Objections set forth therein are incorporated herein by reference as if fully restated.

The Owner/Applicant objects to the hearings before the City’s Planning and Zoning Commission (the “P&Z Commission”) and the City Council on the Application because the time limitation, if any, imposed on the presentation of evidence and testimony in support of the Application deprives the Owner/Applicant a meaningful opportunity to be heard and preserve issues, in violation of the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States and Article I,

EXHIBIT “B”

Section I, Paragraphs I, II, XI, and XII of the Constitution of Georgia of 1983. Likewise, the Owner/Applicant objects to any and all members of the public (and/or other persons) who appear (or otherwise give testimony or opinion) at any hearings, if any, before the P&Z Commission and/or the City Council to the extent that (but not limited to) said individuals (a) do not satisfy the substantial interest-aggrieved citizen test; (b) are not under oath; (c) are not subject to cross-examination; (d) present evidence on and/or make statements that qualify as (or must or should be assessed with the aid of) expert opinion without any or all individuals being qualified as expert witnesses; (e) present evidence on and/or make statements that are not germane to the purview of the P&Z Commission and/or the City Council with respect to the Application as set out in The Code of Ordinances of Fairburn, Georgia (the “Code”), Part II, Chapter 80 (the “Zoning Ordinance”); and/or (f) present evidence and/or make statements that are founded, wholly or in part, upon inadmissible, unreliable, nonprobative, hearsay, insubstantial, and/or lay, nonexpert opinion evidence.

Additionally, the Owner/Applicant objects to any City Council action that does not approve the Application or approves the Application with condition(s) not consented to by the Owner/Applicant to the extent that (but not limited to) such action is: (a) in violation of Section 50-13-19(h) of the Official Code of Georgia Annotated or otherwise: (1) in violation of any constitutional, statutory, and/or ordinance provisions; (2) in excess of the constitutional, statutory, and/or ordinance authority of the City Council; (3) made upon unlawful procedure; (4) affected by other error of law; (5) clearly erroneous in view of the reliable, probative, and substantial evidence on

EXHIBIT "B"

the whole record; or (6) arbitrary or capricious or characterized by abuse of discretion or clearly unwarranted exercise of discretion; (b) founded, wholly or in part, upon inadmissible, unreliable, nonprobative, hearsay, insubstantial, and/or lay, nonexpert opinion evidence; (c) contrary to or outside of the purview of the City Council, and/or procedure, for the Application set out in the Zoning Ordinance; (d) based, in whole or part, on evidence or other information received outside of the hearing(s) on the Application and/or in any manner which does not afford the Owner/Applicant an opportunity to review or respond to the same; and/or (e) not made pursuant and in conformance with the Zoning Ordinance; the Code of Ordinances of Fairburn, Georgia; the Georgia Zoning Procedures Law, O.C.G.A. § 36-66-1, *et seq.*, and/or any other law of the state of Georgia or the United States of America.

By and through this *York* Objection, the Owner/Applicant hereby preserves all the above and incorporated Objections, and any and all evidence, arguments, and objections made and/or tendered by the Owner/Applicant at or prior to the City Council hearing on the Application, and asserts them on and within the record before, and for consideration and resolution (prior to any formal decision) by, the City Council.

WHEREFORE, the Owner/Applicant requests that the City (by and through the City Council of the City) approve the Application, as specified and designated therein, without conditions or with only condition(s) consented to by the Owner/Applicant.

EXHIBIT “B”

Respectfully submitted this 21st day of November 2024.

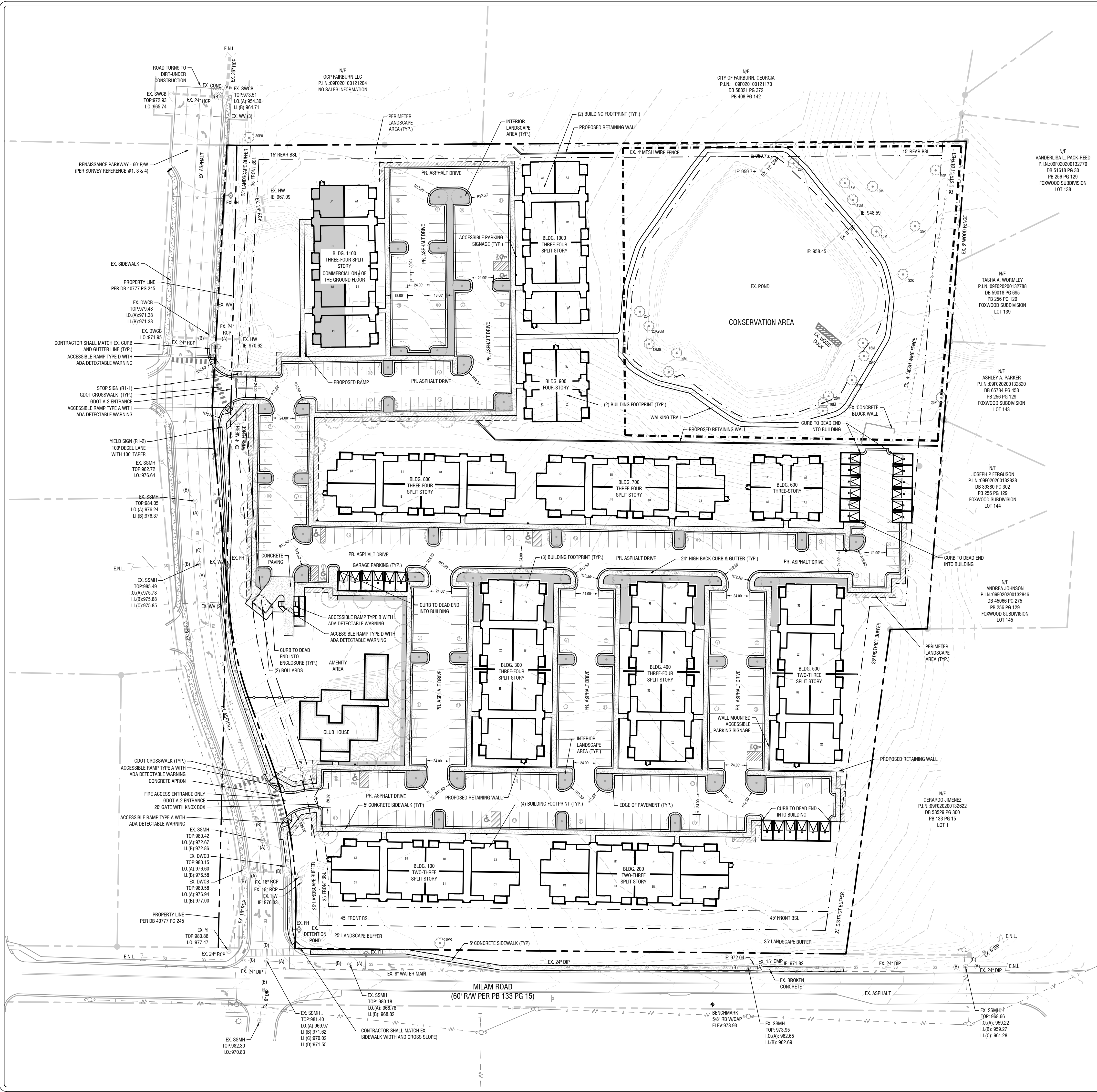
TAYLOR ENGLISH DUMA LLP
Counsel for Owner/Applicant

/s/ Steven L. Jones

Steven L. Jones

Georgia State Bar No.: 639038

1600 Parkwood Circle
Suite 200
Atlanta, Georgia 30339
(678) 336-7282
sjones@taylorenghish.com



SITE COVERAGE DATA

TOTAL PROJECT ACREAGE: 14.22 ACRES (619,537.66 SF.)
 FUTURE ROW: 0.00 ACRES (0.00 SF.)
 NET SITE ACREAGE: 14.22 ACRES (619,537.66 SF.)

EXISTING LOT COVERAGE: 3,164.95 SF. (0.51% OF SITE)
 BUILDINGS: 2,991.31 SF. (0.48% OF SITE)
 PAVING: 0.00 SF. (0.00% OF SITE)
 CONCRETE & SIDEWALKS: 193.65 SF. (0.03% OF SITE)
 GRAVEL: 0.00 SF. (0.00% OF SITE)

PROPOSED LOT COVERAGE: 321,475.75 SF. (51.89% OF NET SITE)
 BUILDINGS & CANOPY: 139,020.34 SF. (22.44% OF NET SITE)
 PAVING: 145,378.60 SF. (23.47% OF NET SITE)
 SIDEWALKS & CONCRETE AREAS: 37,076.31 SF. (5.98% OF NET SITE)

TOTAL LANDSCAPE AREA: 298,061.91 SF. (48.11% OF NET SITE)

PERIMETER LANDSCAPE REQUIREMENTS: 1 TREE/250 SF.
 REQUIRED: 7,934.27/250 SF. = 31.74 TREES
 PROPOSED: 32 TREES

VEHICLE USE AREA: 148,899.62 SF.

INTERIOR LANDSCAPE AREA REQUIREMENTS: 10% OF VEHICLE USE AREA
 REQUIRED: 14,889.96 SF. (10% OF VEHICLE USE AREA)
 PROPOSED: 15,594.54 SF. (10.47% OF VEHICLE USE AREA)

INTERIOR LANDSCAPE TREES REQUIRED: 1 TREE/250 SF.
 REQUIRED: 15,594.54/250 SF. = 62.3781628 TREES
 PROPOSED: 63 TREES

LANDSCAPING REQUIREMENTS:
 TREE PROTECTION, LANDSCAPE AND MAINTENANCE STANDARDS SHALL BE IN ACCORDANCE TO THE CITY OF FAIRBURN LAND DEVELOPMENT AND RELATED REGULATIONS AND SHALL BE ADDRESSED DURING THE PERMITTING PROCESS.

OPEN SPACE REQUIREMENTS: SITE - 1 AC. DISTURBED
 REQUIRED: 185,981 SF. (30% OF NET SITE)
 PROPOSED: 279,166.51 SF. (45.06% OF NET SITE)

QUANTITIES AND PERCENTAGES ARE PROVIDED FOR PERMITTING PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES BEFORE PROVIDING A PROPOSED PRICE FOR SCOPE OF WORK TO BE PERFORMED. IF ANY DISCREPANCIES ARE FOUND, PLEASE REPORT TO PITTMAN & GREER ENGINEERING P.C. IMMEDIATELY.

PARKING DATA

REQUIRED PARKING: 407 SPACES
 RESIDENTIAL DEVELOPMENTS = 1.5 SPACES/DWELLING UNIT
 252 DWELLING UNITS * 1.5 SPACES = 378 SPACES
 RETAIL AND COMMERCIAL USES = 1 SPACE/200 SF. OF ENCLOSED COMMERCIAL SPACE WHICH IS AVAILABLE TO THE PUBLIC (5,999.09 SF./200) = 28.50 SPACES

PROPOSED PARKING: 407 SPACES
 STANDARD SURFACE: 304 (10'X18', 8 OF THOSE ARE HANDICAP ACCESSIBLE)
 COMPACT SURFACE: 79 (9'X15', 19.41% OF THE TOTAL SURFACE SPACES)
 COVERED GARAGE SPACES: 24 (12'X20', PROVIDED FOR 9.76% OF UNITS)

BUILDING DATA

NET SITE ACREAGE: 14.22 ACRES
 MAX. ALLOWED RESIDENTIAL DENSITY: 36 UNITS PER GROSS ACRE
 14.22 AC. * 36 UNITS PER GROSS ACRE = 511.92 UNITS

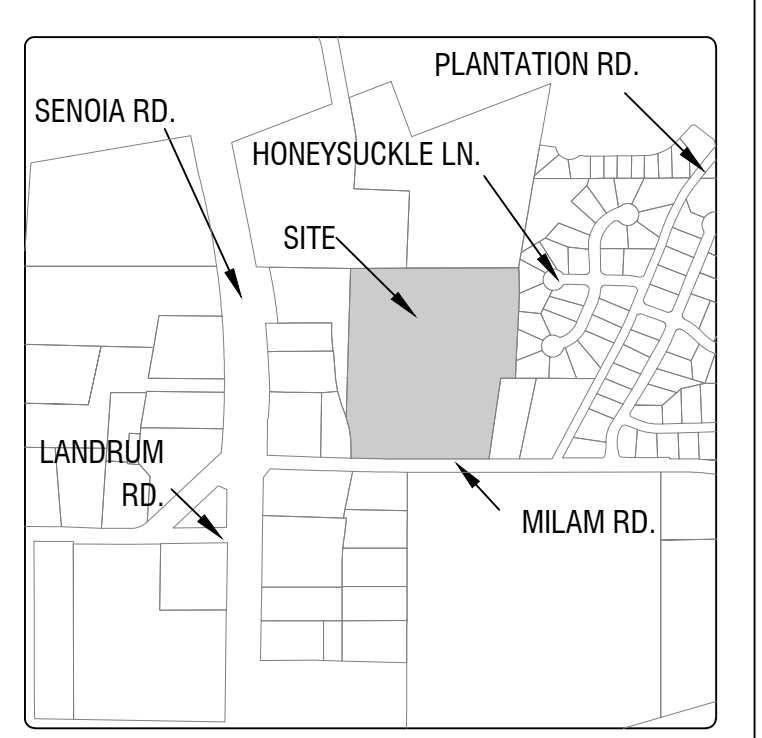
TOTAL PROPOSED DWELLING STRUCTURES: 11
 TOTAL PROPOSED DWELLING UNITS: 252
 PROPOSED 1 BEDROOM DWELLING UNITS: 50
 PROPOSED 2 BEDROOM DWELLING UNITS: 162
 PROPOSED 3 BEDROOM DWELLING UNITS: 40 (15.87%)

PROPOSED BEDS: 494

REZONE CONCEPT PLAN NOTES

- DIMENSIONS AS SHOWN ARE TO THE FACE OF CURB, IF PRESENT, OR TO THE EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. BUILDING DIMENSIONS ARE SHOWN TO THE OUTSIDE FACE OF STRUCTURE.
- ALL CURB RADI SHALL BE 3.5' UNLESS OTHERWISE SPECIFIED ON THE PLAN.
- ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 2 - TREE PROTECTION, LANDSCAPING & MAINTENANCE OF THE FAIRBURN LAND DEVELOPMENT AND RELATED REGULATIONS.
- SIGNAGE FOR THE PROJECT WILL REQUIRE SEPARATE PERMITS. DETAILS PERTAINING TO SIGN DESIGN, INCLUDING: SIZE, LOCATION, AND CONSTRUCTION SHALL BE SUBMITTED TO THE CITY OF FAIRBURN PLANNING AND CODE ENFORCEMENT OFFICES FOR REVIEW AND APPROVAL PRIOR TO ERECTION. ALL SIGNS SHALL BE IN COMPLIANCE WITH THE FAIRBURN LAND DEVELOPMENT AND RELATED REGULATIONS AT THE TIME THE PERMITS ARE REQUESTED.
- ALL EXISTING UTILITIES AS ILLUSTRATED ON THE PLAN ARE APPROXIMATELY LOCATED.
- ALL PROPOSED UTILITIES AS ILLUSTRATED ON THE PLAN SHALL BE LOCATED WITHIN UTILITY EASEMENTS AS APPLICABLE.
- STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH ALL COUNTY, STATE, AND OTHER APPLICABLE ORDINANCES AND REGULATIONS IN EFFECT AT THE TIME OF SITE DEVELOPMENT PLAN APPROVAL.
- THERE ARE RECORDED EASEMENTS LOCATED ON THIS PROPERTY THAT ARE NOT SHOWN ON THIS PLAN.
- ADDITIONAL FIRE ACCESS IMPROVEMENTS MAY BE REQUIRED WHICH COULD RESULT IN THE LOSS OF PARKING AND THUS MAY AFFECT UNIT BEDROOM COUNT.

VICINITY MAP - NOT TO SCALE



PROJECT DATA

PROPERTY OWNER: K B D FAIRBURN LLC
 136 HOOD STREET, SUITE C
 MCDONOUGH, GEORGIA 30253
 ATTN: ----

DEVELOPER: PITTMAN & GREER ENGINEERING P.C.
 1050 BARBER CREEK DRIVE, BLDG. 400
 WATKINSVILLE, GEORGIA 30677
 706.419.9244

PHYSICAL ADDRESS: 5650 MILAM ROAD

TAX PARCEL: 09F0200130436

TOTAL PROJECT ACREAGE: 14.22 ACRES (619,537.66 SF.)

CONTOUR INTERVAL: 1'; FIELD RUN FIELD RUN TOPO BY LAND ENGINEERING DATED OCTOBER 25, 2023.

BOUNDARY SURVEY: THIS DRAWING WAS PREPARED USING A LAND ENGINEERING BOUNDARY & TOPOGRAPHIC SURVEY FOR KC WILLIAMS DEVELOPMENT LLC, DATED OCTOBER 2, 2023.

EXISTING ZONING: C2
 PROPOSED ZONING: PD

EXISTING USE: VACANT TRACT
 PROPOSED USE: APARTMENT COMPLEX

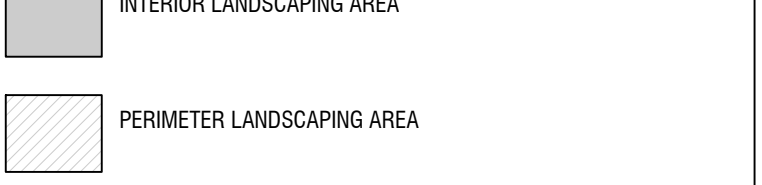
FLOOD PLAN: SUBJECT PROPERTIES ARE WITHIN AREAS HAVING ZONE DESIGNATION OF ZONE A, DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAN PER FLOOD INSURANCE RATE MAP NO. 13121C0464E, WITH AN EFFECTIVE DATE OF 09/18/2013, FOR COMMUNITY PANEL NUMBER 130314, (FULTON COUNTY), GEORGIA.

THERE ARE NO STATE WATERS ONSITE, NOR WITHIN 200' OF THE SITE.
 THERE ARE NO WETLANDS DELINEATED ON SITE.

STORMWATER MANAGEMENT FACILITIES

CONCRETE CURB AND GUTTER AND COUNTY APPROVED PIPE WILL BE EMPLOYED TO COLLECT AND DIVERT SURFACE WATER TO AN EXISTING OFF-SITE STORM WATER MANAGEMENT FACILITY.

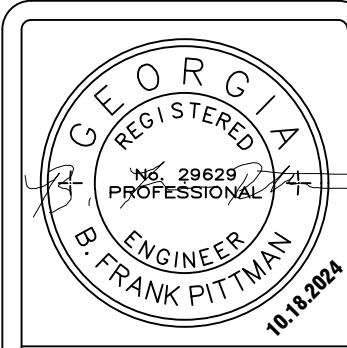
GROUND COVER LEGEND



REVISIONS	DESCRIPTION	DATE	PER OWNER

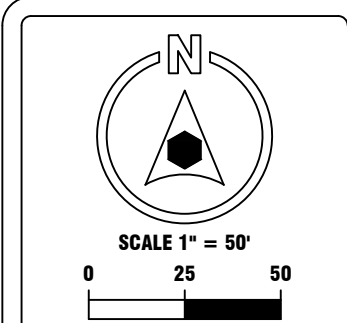


PITTMAN & GREER ENGINEERING P.C.
 1050 BARBER CREEK DRIVE - BLDG. 400
 WATKINSVILLE GA 30677
 P. 706.419.9244 - WWW.PITTMANGREER.COM



ISSUE PURPOSE
FOR REVIEW ONLY

FAIRBURN APARTMENTS-BBRC
 14.22 AC. - 5650 MILAM ROAD
 FULTON COUNTY, GEORGIA



PROJECT NUMBER
2023-047

DATE
10.18.2024

REZONE CONCEPT PLAN

01



VARIANCE APPLICATION PACKET



PROCEDURES AND INFORMATION FOR FILING A VARIANCE

Applications are available at the Office of Planning and Zoning, 26 West Campbellton Street, Fairburn, GA 30213 or online at www.fairburn.com. **Read the following instructions prior to filing and refer to the included filing schedule.**

A PRE-APPLICATION MEETING IS REQUIRED PRIOR TO FILING. To schedule a meeting, please contact the Planning and Zoning Office at 770-964-2244.

TYPES OF VARIANCES:

Listed below are the types of variances. Please identify the type of variance requested and check the appropriate box in Section I or Section II of the VARIANCE APPLICATION.

VARIANCES THAT DO NOT REQUIRE A PUBLIC HEARING:

The following variances are handled administratively by the City's Office of Planning and Zoning.

1. **MINOR VARIANCES:** Administrative relief can only be sought from the minimum yard requirements of the zoning district not to exceed 10% of the setback. (Example: 35-foot front yard = 3.5-foot variance). Letters from adjoining property owners are required at the time of filing.
2. **ADMINISTRATIVE MINOR VARIANCE:** Administrative relief from the minimum yard setback requirements for one foot or less.

VARIANCES THAT REQUIRE A PUBLIC HEARING:

The following variances require a public hearing and action by the Planning and Zoning Commission:

1. **PRIMARY VARIANCE:** Applicant seeks relief from the provisions of the Zoning Ordinance. All such appeals shall be heard by the Planning and Zoning Commission and shall be accompanied with a statement of hardship (See the Variance Considerations below).
2. **SECONDARY VARIANCE:** Applicant seeks to appeal a decision of the Zoning Administrator or seeks to appeal a decision on an Minor Variance or Administrative Minor Variance.

The following variances require a public hearing and action by the City Council:

3. **CONCURRENT VARIANCE:** Applicant seeks a variance in conjunction with a rezoning, use permit or zoning modification request on the same property, based, on the conceptual plan submitted with the petition for the same agenda.

FILING REQUIREMENTS FOR ALL VARIANCES:

1. **APPLICATION CHECKLIST:** See enclosed Variance Application Checklist. **Contact Staff at 770-964-2244 to schedule an appointment for a variance pre-application review meeting.**
2. **APPLICATION FORM:** Variance Applications must have an **original NOTARIZED SIGNATURE** of the property owner(s) of record or a notarized statement by the appellant acting as power of attorney for the property owner. Where there are multiple owners, a notarized signature of each and all owners must be submitted with the application.
1. **SURVEY:** An accurate, to scale, up-to-date certified survey of the property shown with metes and bounds must be submitted with the Variance Application. The survey should include existing thoroughfares; existing drainage areas; existing buildings, structures and facilities; existing utilities on or adjacent to the property; and ownership, zoning and uses of all property adjacent to or within 200 feet of the property. must establish a point of beginning and from said point of beginning, give each dimension bounding the property, calling the directions (such as north, northeasterly, etc.) and returning to the point of beginning. The property's address must also be identified.
2. **LEGAL DESCRIPTION:** A legal description of the subject property must be submitted with the Variance Application. Legal Descriptions must establish a point of beginning and from said point of beginning, give each dimension bounding the property, calling the directions (such as north, northeasterly, etc.) and returning to the point of beginning. The property's address must also be identified.
3. **WARRANTY DEED:** A copy of the warranty deed must be submitted with the Variance Application.
4. **LEASE AGREEMENT:** When applicable, a copy of the lease agreement between the property owner and the applicant must be included with the Variance Application. The lease must identify the party responsible for the reclamation of the property.
5. **LETTER OF INTENT:** The letter of appeal shall state in detail the proposed project, the variance request, and a hardship statement stating that the granting of a variance will alleviate some demonstrated and unusual hardship for which a variance is warranted.
6. **CONCEPTUAL SITE PLAN:** The conceptual site plan must be drawn in accordance with the *Code of Ordinances, Chapter 62, Article V. The Building Process*. Site plan must include the following items:

1.	An accurate, up-to-date and certified survey of the property on which the project is to be built.
2.	A vicinity map showing the property in relation to the general area of the city in which it is located.
3.	The name of the proposed project.
4.	Name, address, phone number, and fax number of the owner, the developer and the designer who prepared the plan.
5.	Graphic scale, north arrow, and date of preparation.
6.	Zoning of the property with required setbacks shown.
7.	Zoning, use, and ownership of all adjoining property
8.	Total area of the site, and the area of the site proposed to be devoted to impervious surfaces.
9.	Approximate topography of the site.
10.	Significant natural features on and adjacent to the site, including the 100-year floodplain, if appropriate.
11.	Existing manmade features on the site.

12.	Proposed site layout including buildings, drives, parking, walkways, landscaped-areas, tree save areas, buffers, easements, utilities and any other features necessary to properly present the concept.
13.	Proposed off-site improvements which may be necessary to properly develop the site.
14.	Architectural elevations to show the intended architectural character of the proposed building and the nature of the materials to be used.
15.	If the site plan is for an addition to or a change in an existing site plan, the drawings must clearly show the changes that are being proposed.

7. **VARIANCE APPLICATION FEE:**

\$350.00, payable by cash, check, money order or credit card (*except American Express*), plus **\$31.00** Notice of Public Hearing Sign

ALL CHECKS PAYABLE TO THE "CITY OF FAIRBURN." VARIANCE APPLICATION FEES ARE NON-REFUNDABLE

ALL REQUESTS FOR VARIANCES SHALL HAVE A STATEMENT OF HARDSHIP. THE FOLLOWING CONSIDERATIONS SHALL BE USED IN JUSTIFYING THE HARDSHIP.

VARIANCE CONSIDERATIONS: Variances may be considered in all districts. Primary variances and concurrent variances shall only be granted upon showing that:

- Relief, if granted, would be in harmony with, or, could be made to be in harmony with, the general purpose and intent of this Chapter or;
- The application of the particular provision of this chapter to a particular piece of property, due to extraordinary and exceptional conditions pertaining to that property because of its size, shape, or topography, would create an unnecessary hardship for the owner while causing no detriment to the public; or
- Conditions resulting from existing foliage or structures bring about a hardship whereby a sign meeting minimum letter size, square footage and height requirements cannot be read from an adjoining public road.

Should a variance request impact approved zoning conditions, a separate Zoning Modification Application may be necessary.

VARIANCE LIMITATIONS: Please note that no variances shall be allowed for the following:

- Permitted uses or accessory uses for the zoning district
- Minimum lot area, minimum lot frontage on a street or minimum district size required in each zoning district
- Relief from the standards of Article VI (*The Appeals Process*) or Article VIII (*The Rezoning Process*)

PROCEDURES FOR FILING ALL VARIANCE APPLICATIONS:

1. **PRE-APPLICATION MEETING:** The property owner or applicant should schedule a pre-application meeting with the Zoning Administrator or his/her designee to discuss the request and necessary documents, fees and schedules pertinent to the request.
2. **APPLICATION SUBMITTAL:** The property owner or applicant shall submit a complete application to the Planning and Zoning Office.

3. **INITIAL STAFF REVIEW:** Completed applications will be distributed to appropriate city staff for review and comment. All staff comments will be submitted to the Planning and Zoning Office within 10 business days.
4. **RESUBMITTAL:** Upon receipt of staff comments, all comments will be consolidated into a single report for distribution to the applicant. The applicant should revise plans according to the comments received and resubmit plans to the Planning and Zoning Office.
5. **PUBLIC NOTICE:** The Planning and Zoning Office staff will prepare newspaper ads and property signs to assure proper notice of public hearings. Property signs must be placed on the site between 15 to 45 days before the date of the public hearing.
6. **STAFF EVALUATION:** A staff analysis report with a recommendation to the Planning and Zoning Commission will be prepared.
7. **PLANNING & ZONING COMMISSION:** The Planning and Zoning Commission shall hold a public hearing on the application and make a decision on the request. Conditions may be included as part of the decision. The Planning & Zoning Commission meets on the first Tuesday of each month (as needed) at Fairburn City Hall, 56 Malone Street, Fairburn, GA 30213.
8. **APPEALS.** Appeals of primary variance decisions shall be filed with the Fulton County Superior Court within 30 days of the Planning and Zoning Commission decision. Appeals to decisions of the Zoning Administrator (also called secondary variances/interpretations) shall be filed within 30 days of the decision to the Planning and Zoning Commission.



VARIANCE PUBLIC HEARING INFORMATION

Public hearings are required for Primary Variances and Secondary Variances. Public notification is required for Minor Variances.

Public Hearings for Primary Variances and Secondary Variances must be advertised in the manner listed below. Public Hearings for Concurrent Variances must be advertised with their associated rezoning, use permit or zoning modification requests.

POSTING OF PUBLIC HEARING SIGNS:

- **PLANNING AND ZONING COMMISSION PUBLIC HEARING NOTICE SIGN:** Signs posted along the frontages of Properties subject to variances that notify area residents of the Planning and Zoning Commission public hearing. **Applicants are required to post the public hearing sign in a conspicuous place along the property's public street frontage, no later than 20 days before the Planning and Zoning Commission hearing.** *Failure to post the signs by this deadline will result in the administrative removal of the public hearing from the agenda.* The sign must remain posted on-site until final action by the Planning and Zoning Commission. If the sign is mutilated and/or removed, the applicant is responsible for obtaining and re-posting a new sign.

OTHER PUBLIC NOTIFICATION FOR VARIANCES:

- Notice is mailed (via U.S. Mail) by City of Fairburn to all property owners within a 500-foot radius of the subject property. Said notice is postmarked no later than 15 days prior to the public hearing to property owners of record as shown on the real estate tax records of Fulton County as retrieved by the County's Geographic Information Systems.
- A published notice in a newspaper of general circulation is done by the City of Fairburn no later than 15 days prior to the public hearing. The published notice contains the time, place, purpose of the hearing and the location of the property.
- Minor variances require the applicant to notify the immediately adjacent property owners via email and/or certified mail.

PUBLIC HEARING DATES:

- **APPLICATION DEADLINES:** A schedule with deadlines and public hearing dates for all Variances can be found on the final page of this application packet.
- **PLANNING AND ZONING COMMISSION MEETING:** Primary and Secondary Variances are decided by the Planning and Zoning Commission. The Planning and Zoning Commission holds public hearings on the first Tuesday of each month at 7:00 p.m.

IF YOU HAVE ANY QUESTIONS CONCERNING THESE VARIANCE FILING PROCEDURES, PLEASE CONTACT THE PLANNING AND ZONING OFFICE AT 770-964-2244.



VARIANCE APPLICATION CHECKLIST

Please submit one (1) copy of the following documents and information.

ITEM #	REQUIRED ITEM	CHECK <input checked="" type="checkbox"/> (Office Use Only)
1.	Application Checklist	<input checked="" type="checkbox"/>
2.	Application Form	<input checked="" type="checkbox"/>
3.	Survey	<input checked="" type="checkbox"/>
4.	Legal Description	<input checked="" type="checkbox"/>
5.	Warranty Deed	<input checked="" type="checkbox"/>
6.	Lease Agreement	N/A
7.	Letter of Intent	<input checked="" type="checkbox"/>
8.	Conceptual Site Plan	<input checked="" type="checkbox"/>

Fees: \$350 per variance application and \$31 public hearing sign

For any documents that are larger than 11" x 17," a copy reduced to 11" x 17" shall also be required.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

APPLICATIONS ARE ACCEPTED MONDAY – FRIDAY FROM 9:00 A.M. TO 3:00 P.M.

CHECK ONE OF THE FOLLOWING REQUESTED VARIANCE TYPES IN SECTION II.

SECTION II VARIANCES REQUIRING PUBLIC HEARING BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL

- 1) **PRIMARY VARIANCE:** Seeks relief from any provision in the Zoning Ordinance that is not being handled as a minor variance or administrative minor variance.
- 2) **SECONDARY VARIANCE:** Seeks relief from variance decisions and interpretations made by the zoning administrator or relief from minor variance or administrative minor variance requests.
- 2) **CONCURRENT VARIANCE:** Seeks relief from any provision in the Zoning Ordinance when filed simultaneously with a rezoning, use permit, or zoning modification request on the same property.

MINOR & ADMINISTRATIVE MINOR VARIANCES
[NO PUBLIC HEARING REQUIRED]

- 1) **MINOR VARIANCE:** Seeks relief from the minimum yard requirements, not to exceed 10% of required setback (example: 35-foot front yard = 3.5-foot variance)
- 2) **ADMINISTRATIVE MINOR VARIANCE:** Relief requiring 1 foot or less from required building setback

VARIANCE CONSIDERATIONS:

- 1) Relief, if granted, would be in harmony with, or, could be made to be in harmony with, the general purpose and intent of this chapter; or

See attached letter of intent

- 2) The application of the particular provision of this chapter to a particular piece of property, due to extraordinary and exceptional conditions pertaining to that property because of its size, shape, or topography, would create an unnecessary hardship for the owner while causing no detriment to the public; or

See attached letter of intent

- 3) Conditions resulting from existing foliage or structures bring about a hardship whereby a sign meeting minimum letter size, square footage and height requirements cannot be read from an adjoining public road.

See attached letter of intent

SECTION III LEGAL DESCRIPTION OF PROPERTY (Legal description/survey must match submitted site plan.)

SUBDIVISION N/A UNIT/PHASE: _____ LOT NO(S): _____

LAND LOT(S): 13 DISTRICT: 9th TAX ID: 0-9F0202-0013-043-6

PROPERTY ADDRESS 5650 Milam Road, Fairburn, Georgia

SECTION IV AUTHORITY TO PURSUE VARIANCE

NOTICE: Part 1 and/or Part 2 below must be signed and notarized when the petition is submitted. Please complete Section IV as follows:

- a) If you are the sole owner of the property and not the petitioner complete Part 1.
- b) If you are the petitioner and not the sole owner of the property complete Part 2.
- c) If you are the sole owner and petitioner complete Part 1.
- d) If there are multiple owners each must complete a separate Part 1 and include it in the application.

Part 1. OWNER INFORMATION

Owner states under an oath that he or she is the owner of the property described in the attached legal description. [EACH OWNER'S SIGNATURE MUST BE NOTARIZED]

KBD FAIBURN, LLC

TYPE OR PRINT OWNER'S NAME
136 Hood Street, Suite C

ADDRESS
McDonough, Georgia 30253

CITY, STATE & ZIP CODE
Atlanta, Georgia

OWNER'S SIGNATURE
(678) 782-5990

AREA CODE/ PHONE NUMBER
davidoharris@gmail.com & kwilliams@kcwllc.com

EMAIL ADDRESS

Sworn to and subscribed before me this 29 day of

May 2024

Shelby Baker

NOTARY PUBLIC



Part 2. APPLICANT INFORMATION

Petitioner states under oath that: (1) he/she is the executor or Attorney-in-fact under a Power-of-Attorney for the owner (attach a copy of the Power-of-Attorney letter and type name above as "Owner"); (2) he/she has an option to purchase said property (attach a copy of the contract and type name of owner above as "Owner"); or (3) he/she has an estate for years which permits the petitioner to apply (attach a copy of lease and type name of owner above as "Owner").

KBD FAIBURN, LLC
c/o Steven L. Jones, Taylor English Duma LLP

TYPE OR PRINT PETITIONER'S NAME
1600 Parkwood Circle, Suite 200

ADDRESS
Atlanta, Georgia 30339

CITY & STATE ZIP CODE

Sworn to and subscribed before me this the

29 Day of May 2024 exp: 1/10/26

Shelby Baker

NOTARY PUBLIC





PETITIONER'S SIGNATURE

sjones@taylorenghish.com

EMAIL ADDRESS

404-218-2756

PHONE NUMBER

V. ATTORNEY/AGENT INFORMATION

CHECK ONE: ATTORNEY AGENT

Steven L. Jones, Taylor English Duma LLP

TYPE OR PRINT ATTORNEY/AGENT NAME

1600 Parkwood Circle, Suite 200

ADDRESS

Atlanta, Georgia 30339

CITY, STATE & ZIP CODE

[404] 218-2756

AREA CODE/PHONE NUMBER

sjones@taylorenghish.com

EMAIL ADDRESS

/s/ Steven L. Jones

SIGNATURE OF ATTORNEY/AGENT



Fairburn Apartments

Bird's Eye View / Still Location



Fairburn Apartments



Fairburn Apartments



Fairburn Apartments

Axon 03



Fairburn Apartments



Fairburn Apartments

Pond View 01



Fairburn Apartments

Pond View 02



Fairburn Apartments

Pond View 03



Fairburn Apartments

Pond View 04



Fairburn Apartments

Pond View 05



Fairburn Apartments

Apartment Elevation 01



Fairburn Apartments

Apartment Elevation 02



Fairburn Apartments

Apartment Elevation 03



Fairburn Apartments

Amenity View 01



Fairburn Apartments

Amenity View 02



Fairburn Apartments

Amenity View 03







Fairburn Apartments

Streetscape View 02



Fairburn Apartments

Streetscape View 03



Fairburn Apartments

Streetscape View 04



Fairburn Apartments

Streetscape View 05



Fairburn Apartments

Streetscape View 07



Fairburn Apartments

Streetscape View 08



Fairburn Apartments

Streetscape View 09



Fairburn Apartments

Streetscape View 10



Fairburn Apartments

Streetscape View 11



Fairburn Apartments

Streetscape View 12

TRAFFIC IMPACT ANALYSIS

FAIRBURN APARTMENTS - BBRC

FULTON COUNTY, GA

MAY 10, 2024

Prepared By

Maldino and Wilburn, LLC

Traffic Consultants



TRAFFIC IMPACT ANALYSIS

FAIRBURN APARTMENTS

FULTON COUNTY, GA

24-11

MAY 10, 2024

Prepared by:

Vern Wilburn, P.E.
Maldino and Wilburn, LLC
Traffic Consultants
1864 Lower Fayetteville Rd
Newnan, GA 30265
(770) 362-6184
vern@MWTraffic.com



5-10-24

Prepared for:

Mr. Steven L. Jones
Taylor English Dumas, LLP
1600 Parkwood Circle, Suite 200
Atlanta, GA 30339
email: sjones@taylorenghish.com
678.426.4628

Vern
n O.
Wilbur
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Digitally
signed by
Vernon O.
Wilburn
Date:
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Executive Summary

This study was conducted to evaluate the traffic-related impacts of a proposed apartment community consisting of 246 dwelling units, with a small amount of retail space (8376 square feet).

The estimated number of trips expected from the proposed development is as follows:

Weekday, Daily Total - 3008 per day (1504 in/1504 out)

Weekday, AM Peak Hour - 234 Total (102 in/132 out)

Weekday, PM Peak Hour - 216 Total (106 in/110 out)

The study includes capacity analyses of existing and projected conditions at the following intersections:

1. SR 74 and Milam Rd/Landrum Rd
2. Milam Rd and Service Rd
3. Service Rd and Family Dollar Rear Driveway
4. Service Rd and Meineke Rear Driveway

The assessments show that Intersection No. 1 (SR 74 and Milam Rd/Landrum Rd) is presently operating at LOS C (AM Peak Hour) and LOS D (PM Peak Hour). It will degrade to LOS D (AM Peak Hour) and LOS E (PM Peak Hour) after the proposed development is complete. No mitigations are recommended since this is part of the SR 74 Corridor Study that identifies a comprehensive “superstreet” concept that could be implemented corridor-wide.

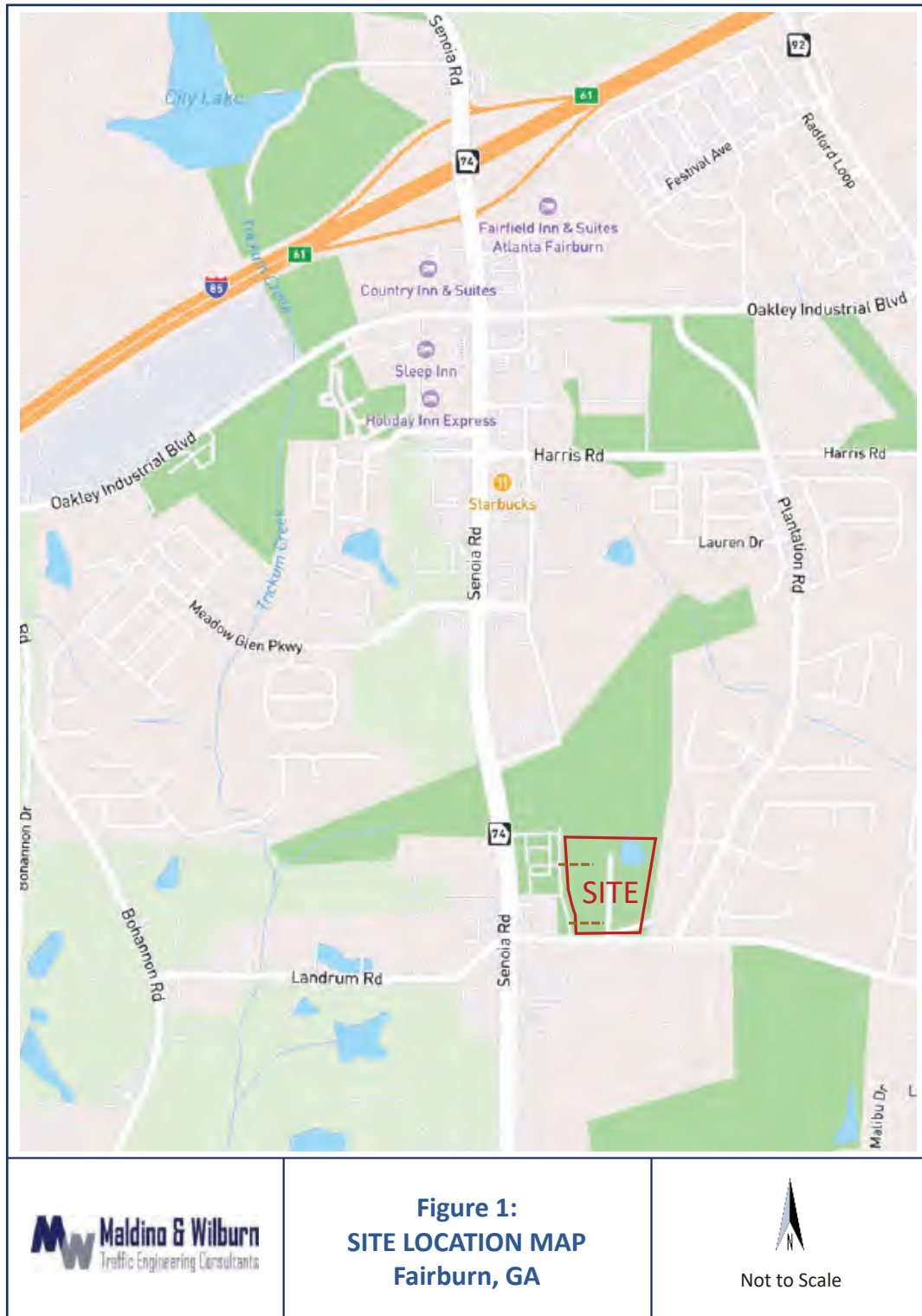
The unsignalized intersections currently operate at LOS D or better and will continue to operate at the same level after the development.

The proposed Driveway 1 will operate at LOS B or better. It is recommended that the existing hatching on the service road near the proposed Driveway 1 be removed and the center lane be striped as a two way left turn lane.

An estimate of trip generation was made for an alternate development that could occur under the current zoning. Based on the zoning and the size of the site, a reasonable alternate development is a shopping center, containing a total of 90,000 square feet space for a grocery store and adjoining retails shops. In comparison, the alternate development could generate 8339 daily trips per day as compared to 3008 for the proposed development. In the AM Peak Hour, the alternate development would generate 318 trips as compared to 102 trips for the proposed development . In the PM Peak Hour, the alternate development would generate 809 trips as compared to 216 trips for the proposed development.

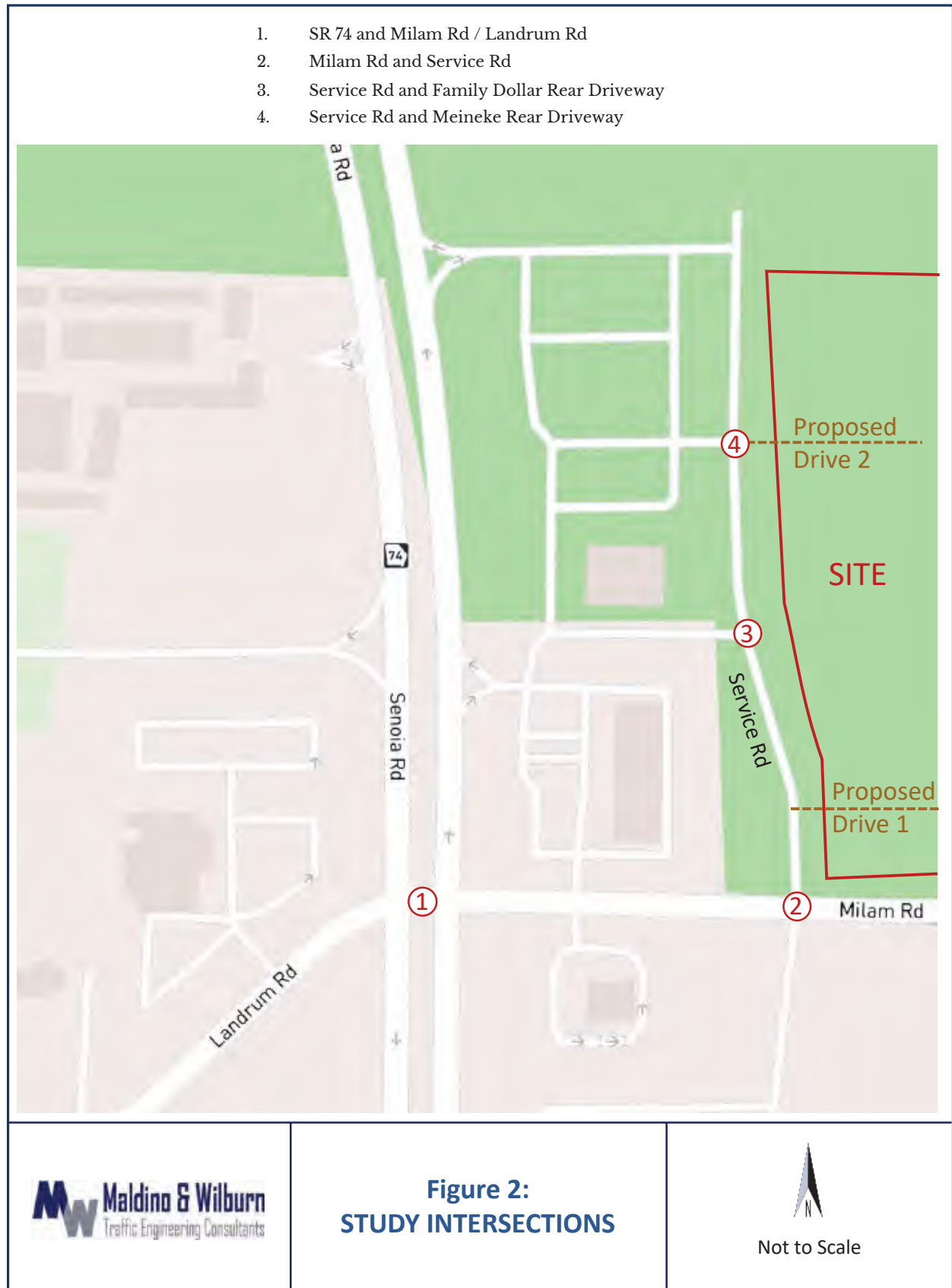
1. Introduction

This study was conducted to evaluate the traffic-related impacts of a proposed apartment community consisting of 246 dwelling units, with a small amount of retail space (8376 square feet). Figure 1 shows the general location of the site.



Study Intersections

Figure 2 indicates the intersections that are included in this traffic study.



2. Existing Conditions

This chapter provides a description of the existing roadway geometrics, traffic control, and traffic volumes on the roadways in the study area.

Existing Roadways

The following are brief descriptions of the existing roadways.

SR 74 (Senoia Rd)

State Route 74 runs southward from SR 14 (US 29) in Fairburn to SR 85 in Senoia. The roadway is generally a 4-lane divided facility. GDOT classifies it as a principal arterial.

Landrum Rd/Milam Rd

Landrum Road runs from SR 74 westward to Bohannon Road. This is a two-lane road. Milam Road continues eastward from the intersection of SR 74 and Landrum Road and ends at SR 92, although a portion of this route is named Rivers Road.

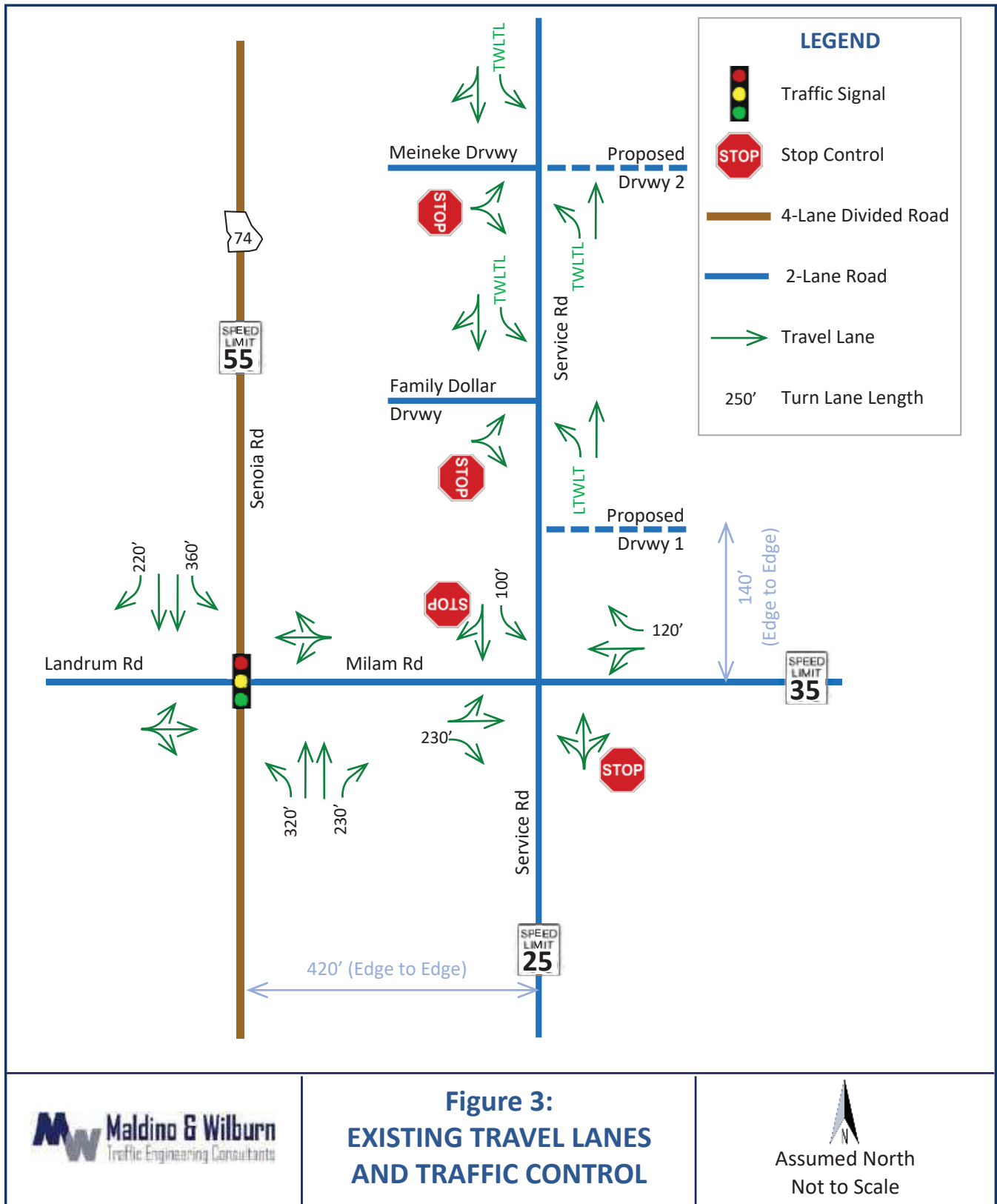
This corridor is classified by GDOT as local roads.

Service Road

The site will have access to the street system via a service road that runs parallel to SR 74. The service road intersects Milam Road just east of SR 74. It is a two-lane facility. The service road is classified by GDOT as a local road.

Travel Lanes and Traffic Control

Figure 3 schematically illustrates the existing travel lanes and traffic control in the study area.



Weekday Peak Hour Traffic Volumes

Turning movement counts (TMCs) were conducted at the study intersections on Tuesday, March 26, 2024. The TMCs were conducted during the AM and PM Peak Periods. Figure 4, on the following page, summarizes the peak hourly volumes. Data reports from the turning movement counts are provided in Appendix A.

LEGEND

AM Peak Hour

PM Peak Hour

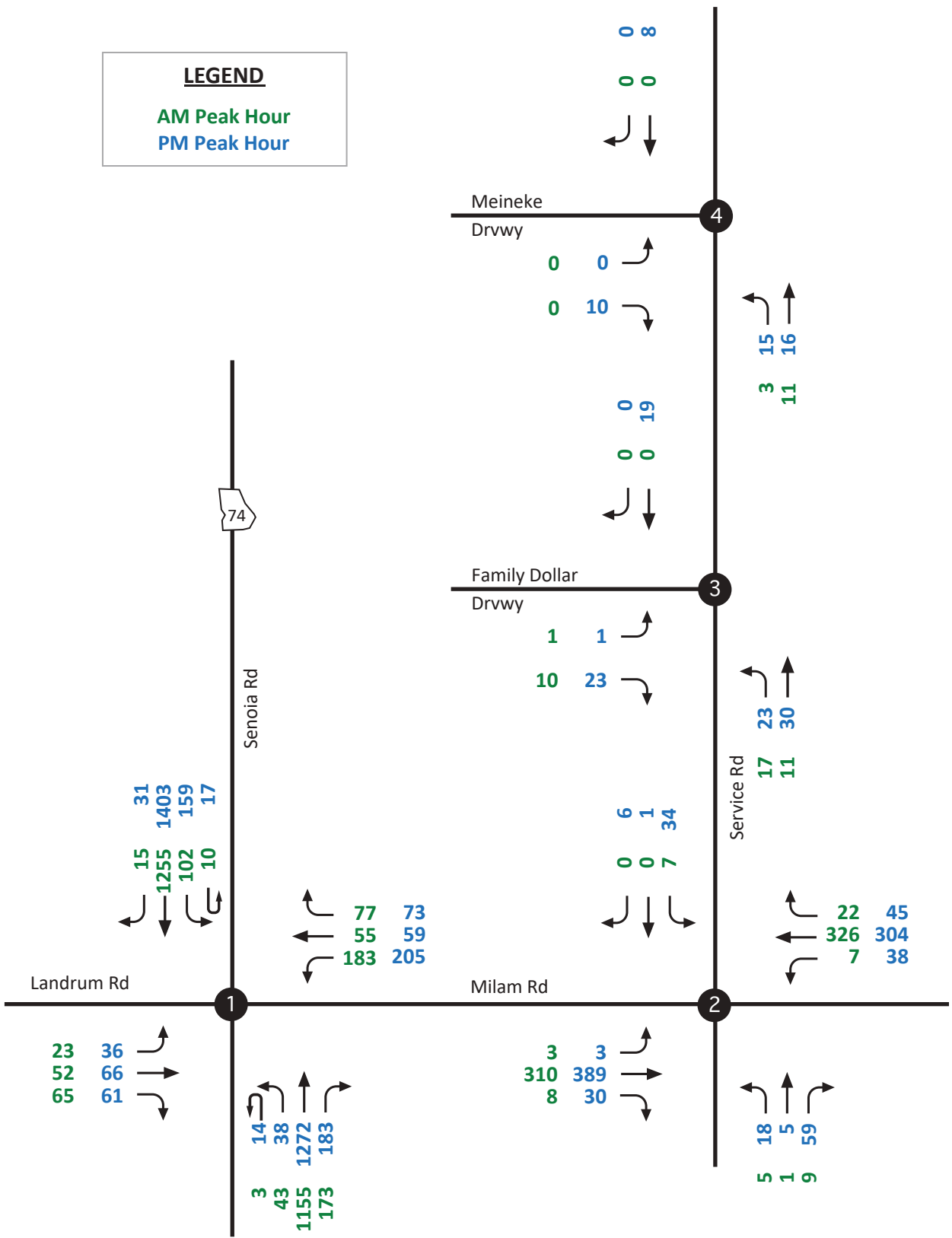


Figure 4:
EXISTING WEEKDAY PEAK
HOUR TRAFFIC VOLUMES



3. Projected Conditions

Proposed Development

The proposed development is an apartment community with a small amount of retail space planned for the ground floor of Building 100. The retail uses are not known but typical uses expected are a fast-food restaurant and a hair salon. The site plan is provided in Appendix B.

The development will have two driveways onto the service road. Generated traffic is expected to split evenly between the two driveways.

Trip Generation, Proposed Development

The estimated number of trips generated was calculated using trip rates from the Institute of Transportation Engineers (ITE) publication *Trip Generation, 11th Edition*. A summary of the expected trip generation is provided in Table 1 for typical weekdays. Reports from the ITE TripGen Web-Based App are reprinted in Appendix C.

ITE LAND-USE CODE	SIZE	DAILY Total, In and Out	AM PEAK HOUR			PM PEAK HOUR		
			TOTAL	IN	OUT	TOTAL	IN	OUT
220	246 Units	1652	99	24 24%	75 76%	126	63 50%	63 50%
933	3,000 SF	1351	130	75 58%	55 42%	84	42 50%	42 50%
918	4,000 SF	11	5	3 50%	3 50%	6	1 17%	5 83%
TOTAL		3014	234	102	132	216	106	110

The retail component of the development will have some pass-by trips associated with it. Pass-By trips do not add new traffic but draw from the existing traffic streams near the site. Also, trips between the residential and retail component will not use the external street system. Since the retail portion is comparatively small, no pass-by nor internal trip reductions are accounted for in this study.

Trip Distribution

A distribution model was formulated to delineate the starting point and destination of newly generated trips. Given that the development is primarily residential units, the majority of trips are expected to be commute-related, particularly during the morning rush hour. Hence, the AM Peak Hour Volumes were employed to construct a distribution model, depicted in Figure 5. This model is derived from the proportion of overall trips heading in various directions from the site.

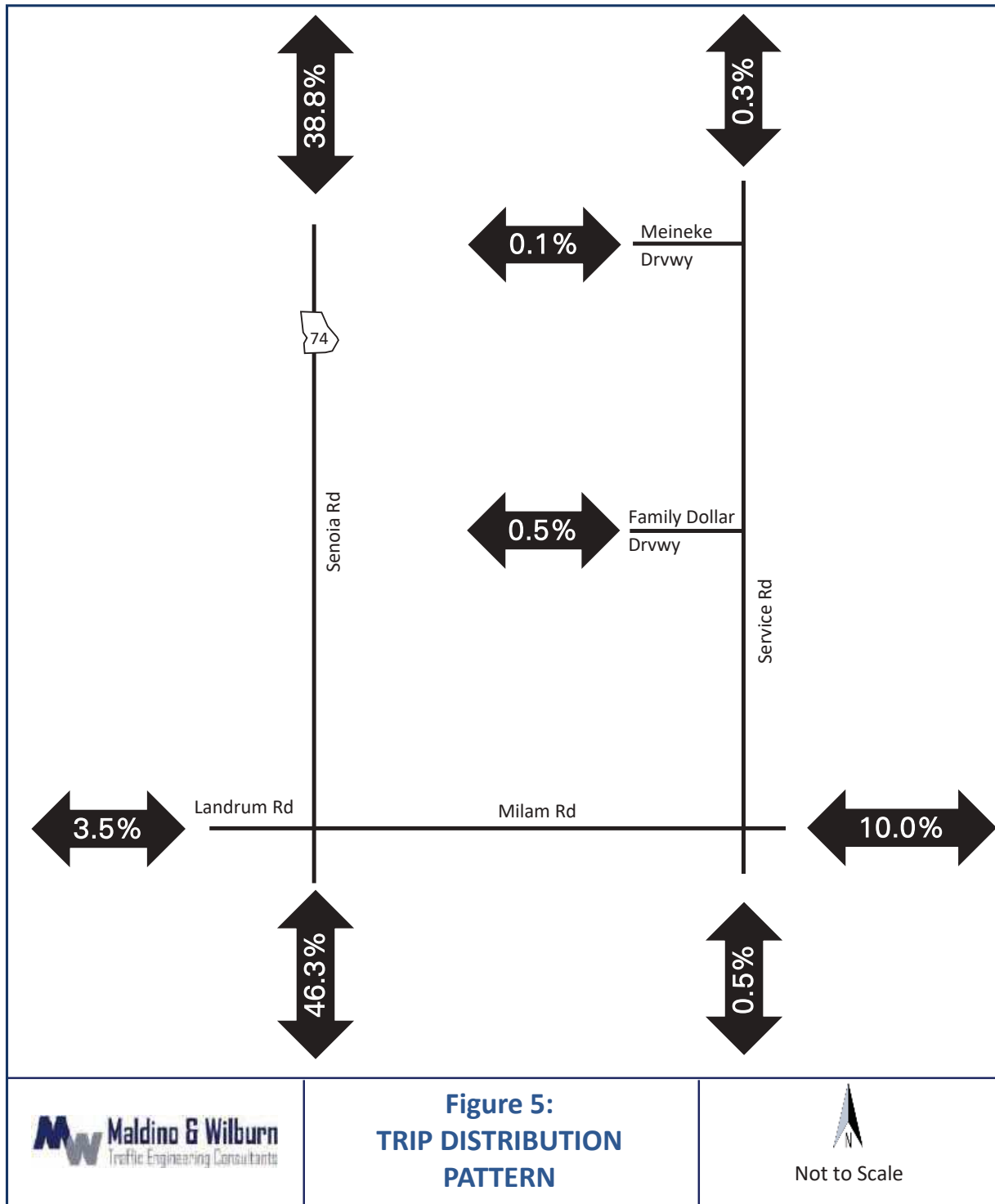


Table 2 shows how the generated trips are expected to be distributed in accordance with the percentages shown in Figure 5.

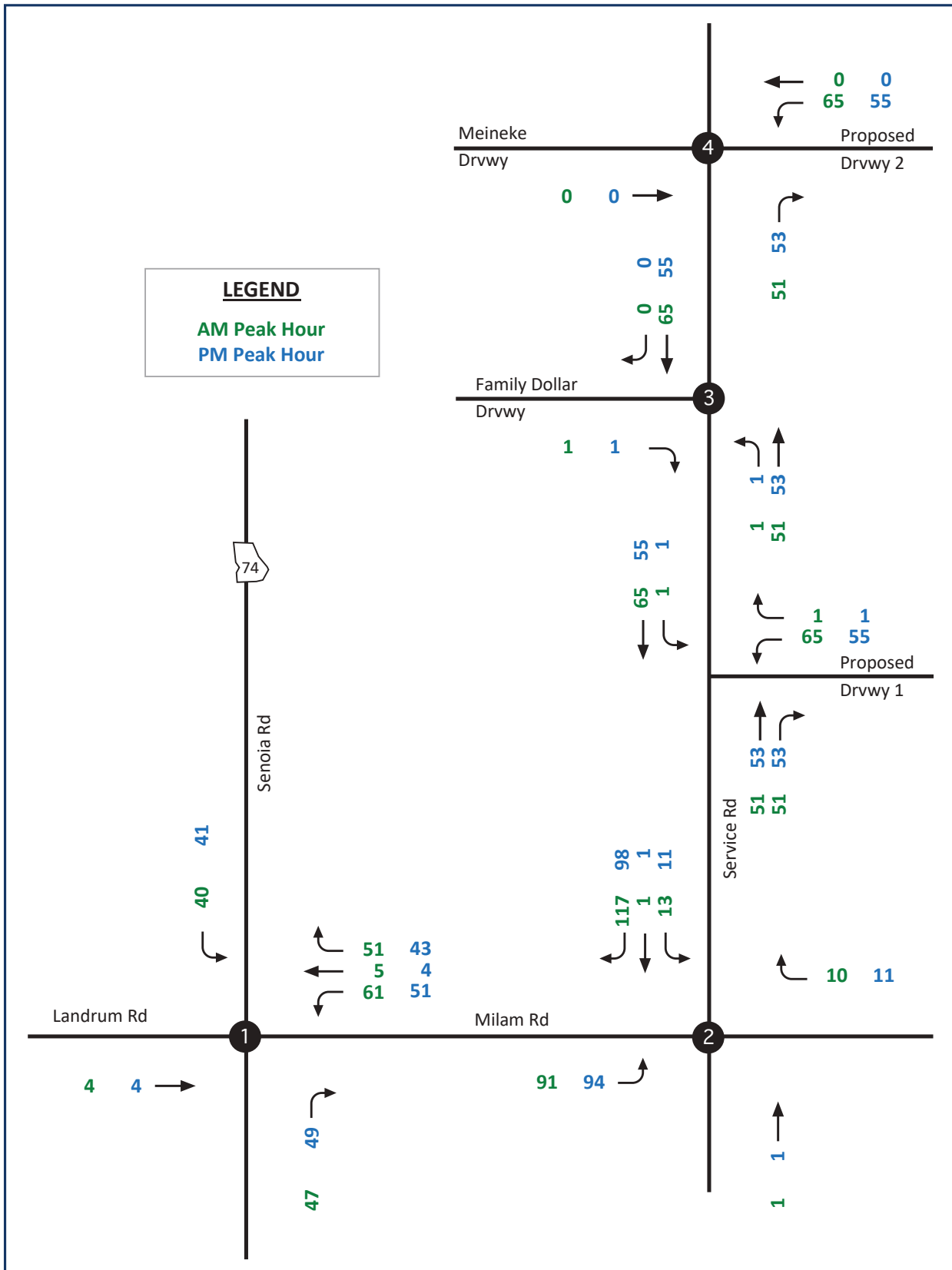
Table 2 - DISTRIBUTION OF GENERATED TRIPS

DIRECTION	ROUTE	%	DAILY	AM PEAK HOUR		PM PEAK HOUR	
				IN	OUT	IN	OUT
North	SR 74	38.8%	1167	40	51	41	43
South	SR 74	46.3%	1393	47	61	49	51
West	Landrum Rd	3.5%	105	4	5	4	4
East	Milam Rd	10%	301	10	13	11	11
North	Service Rd	0.3%	9	0	0	0	0
South	Service Rd	0.5%	15	1	1	1	1
West	Family Dollar Drvwy	0.5%	15	1	1	1	1
West	Meineke Drvwy	0.1%	3	0	0	0	0
TOTAL		100%	3008	102	132	106	110

Note: Totals may not add exactly due to roundoff errors.

Traffic Assignment

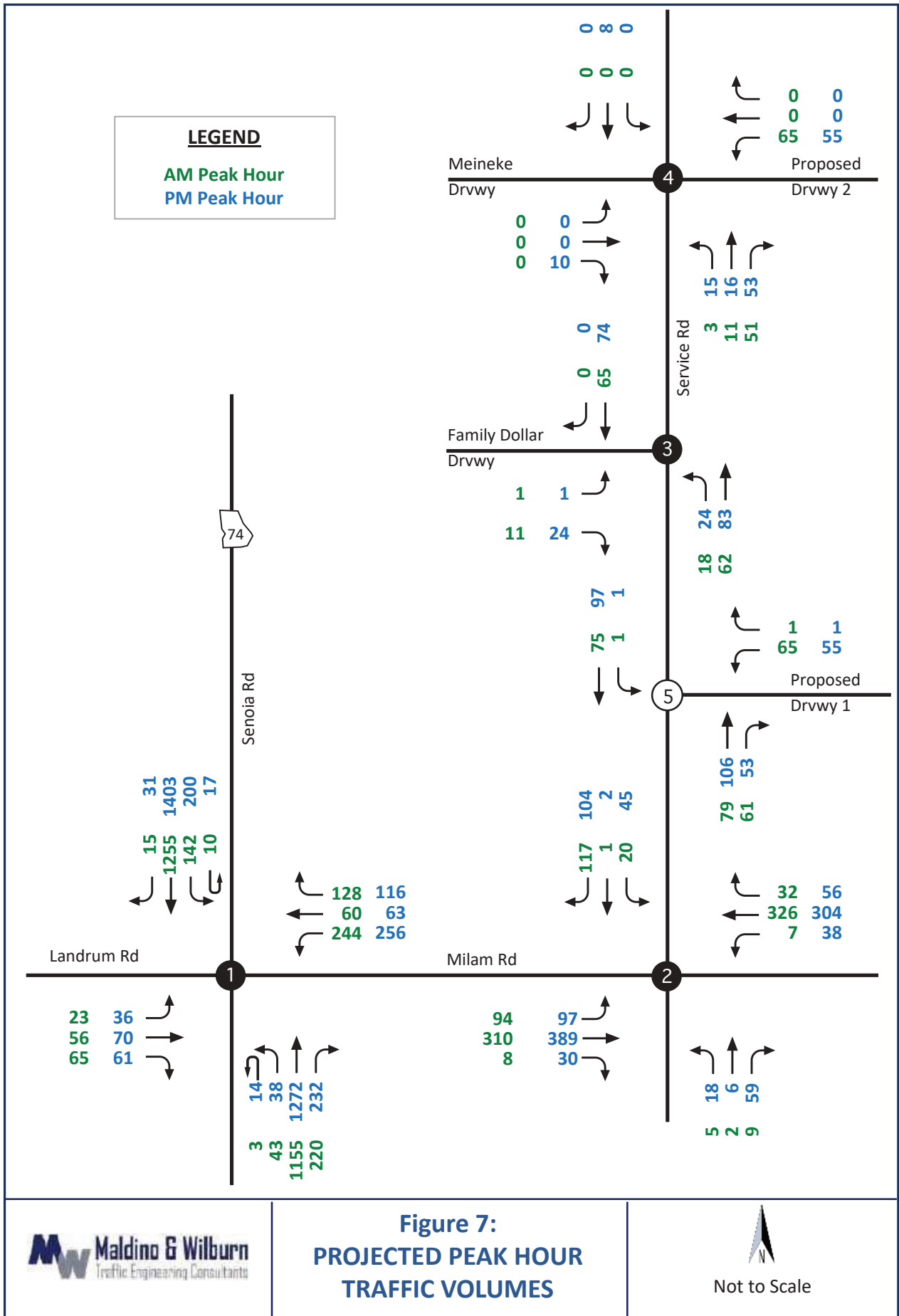
Figure 6, on the following page, illustrates the assignment of generated peak hour trips expected from the proposed development.



**Figure 6:
 GENERATED PEAK HOUR
 TRAFFIC VOLUMES**

Projected Peak Hour Traffic Volumes

The anticipated traffic volumes during the peak hours are presented in Figure 7. These projections were calculated by merging the *Generated Peak Hour Traffic Volumes* from Figure 6 with the *Existing Weekday Peak Hour Traffic Volumes* (refer to Figure 4 on Page 8).



4. Capacity Analysis

Capacity analysis was performed for the existing and projected conditions using *Synchro 11* software by Trafficware. The results of intersection capacity analyses are reported in terms of level of service (LOS), which is a function of average delay per vehicle, in seconds. The LOS scales according to the *Highway Capacity Manual* (HCM) are shown in Table 3.

Table 3 – HCM LEVEL OF SERVICE SCALES

LEVEL OF SERVICE	AVERAGE DELAY PER VEHICLE (SECONDS)	
	WITH STOP CONTROL	WITH SIGNAL CONTROL
A	≤10.0	≤10.0
B	10.1 to 15.0	10.1 to 20.0
C	15.1 to 25.0	20.1 to 35.0
D	25.1 to 35.0	35.1 to 55.0
E	35.1 to 50.0	55.1 to 80.0
F	>50.0	>80.0

While the LOS scale is like the grading scales used in schools, it is different in that LOS D is generally considered as good operation.

Capacity Analysis Results

Detailed reports of the capacity analysis are included in Appendix D for the Existing Conditions and Appendix E for the Projected Conditions. The results of capacity analysis are tabulated separately in the following sections, one for the signalized intersection (SR 74 and Milan Rd/Landrum Rd) and another for unsignalized intersections.

For the signalized intersection, the table contains a single LOS for the entire intersection. For the unsignalized intersections, the capacity analysis table shows an individual LOS for each stop-controlled movement.

Signalized Intersection (SR 74 and Milam Rd/Landrum Rd)

Table 4 provides a summary of the capacity analysis results conducted for the signalized intersection of SR 74 and Milam Road/Landrum Road.

INTERSECTION	AM PEAK HOUR		PM PEAK HOUR	
	EXISTING	PROJECTED	EXISTING	PROJECTED
1. SR 74 & Milam Rd/Landrum Rd	C (24.7)	D (39.6)	D (42.8)	E (62.7)

The above-displayed results reveal that the SR 74 intersection with Milam Rd/Landrum Rd is presently operating at LOS C (AM Peak Hour) and LOS D (PM Peak Hour). It will degrade to LOS D (AM Peak Hour) and LOS E (PM Peak Hour).

Since the SR 74 Corridor Study ¹ included a range of improvements to the corridor, no mitigations are recommended for this intersection. The corridor study included a potential for making this section of SR 74 a “Superstreet”. The corridor study identified this option as a way to accommodate future travel needs without widening the corridor through a series of innovative intersection designs. The report also indicated that the individual intersection treatments could be implemented separately but the superstreet concept would operate better if implemented as continual corridor.

Footnote:

1.) *State Route 74, Comprehensive Corridor Study*, Pond & Company.

Unsignalized Intersections

The results of the capacity analysis at the intersections which are stop-controlled on the side streets are summarized in Table 5.

Table 5 – CAPACITY ANALYSIS RESULTS, STOP-CONTROLLED INTERSECTIONS

INTERSECTION	MOVEMENT	AM PEAK HOUR		PM PEAK HOUR	
		EXISTING	PROJECTED	EXISTING	PROJECTED
2. Milam Rd & Service Rd	EB LT	A (8.1)	A (8.5)	A (8.7)	A (8.7)
	NB Approach	B (12.8)	C (18)	C (15.8)	C (15.8)
	SB Approach	C (17.5)	B (14)	D (29.6)	D (29.6)
3. Service Rd & Family Dollar	NB LT	A (7.3)	A (7.4)	A (7.3)	A (7.4)
	EB Approach	A (8.4)	A (8.8)	A (8.6)	A (8.9)
4. Service Rd & Meineke/Drwy 2	NB LT	A (7.2)	A (7.2)	A (7.2)	A (7.2)
	EB Approach	A (0)	A (0)	A (8.5)	A (8.5)
	WB Approach	N/A	A (9.3)	N/A	A (9.5)
5. Service Rd & Drwy 1	SB LT	N/A	A (8.5)	N/A	A (7.6)
	WB Approach	N/A	B (10.1)	N/A	B (10.4)

The results shown above indicate that all stop-controlled intersections currently operate at LOS D or better and will continue to operate at the same LOS after the development.

The proposed Driveway 1 will operate at LOS B or better. It is recommended that the existing hatching on the service road near the proposed Driveway 1 be removed and the center lane be striped as a two way left turn lane.

5. Trip Generation, Alternate Development

This chapter contains a comparison of trip generation for the proposed development to a potential development that could occur with the current zoning of the site. Based on the zoning and the size of the site, a reasonable alternate development is a shopping center, containing a total of 90,000 square feet space for a grocery store and adjoining retails shops.

A summary of the trips that could be generated by the existing zoning is provided in Table 6. Reports from the ITE TripGen Web-Based App are reprinted in Appendix F.

Table 6 - ESTIMATED WEEKDAY TRIP GENERATION, ALTERNATE DEVELOPMENT

ITE LAND-USE CODE	SIZE	DAILY Total, In and Out	AM PEAK HOUR			PM PEAK HOUR		
			TOTAL	IN	OUT	TOTAL	IN	OUT
821	90,000 Square Feet	8339	318	197 62%	121 38%	809	388 48%	421 52%

In comparison, the alternate development could generate 8339 trips per day as compared to 3008 for the proposed development.

In the AM Peak Hour, the alternate development would generate 318 trips as compared to 102 trips for the proposed development .

In the PM Peak Hour, the alternate development would generate 809 trips as compared to 216 trips for the proposed development.

APPENDICES

Appendix A

Traffic Count Data

Appendix B

Site Plan

Appendix C

Trip Generation Reports

Appendix D

Capacity Analysis Reports

Existing Conditions

Appendix E

Capacity Analysis Reports

Projected Conditions

Appendix F

Trip Generation Reports

Alternate Development

Appendix A

Traffic Count Data



(303) 216-2439
www.alltrafficdata.net

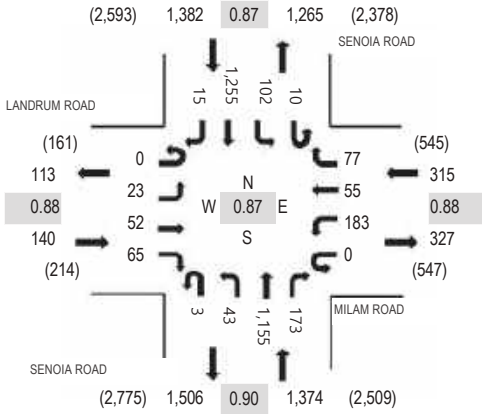
Location: 1 SENOIA ROAD & MILAM ROAD AM

Date: Wednesday, April 24, 2024

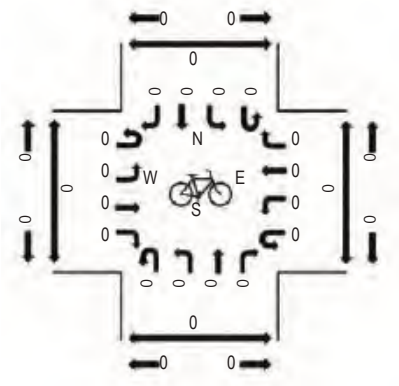
Peak Hour: 07:15 AM - 08:15 AM

Peak 15-Minutes: 07:30 AM - 07:45 AM

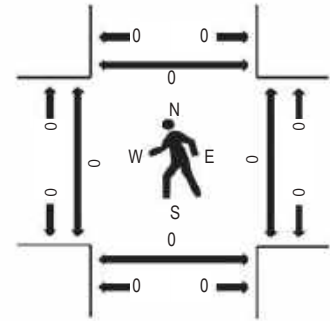
Peak Hour - Motorized Vehicles



Peak Hour - Bicycles



Peak Hour - Pedestrians



Note: Total study counts contained in parentheses.

Traffic Counts - Motorized Vehicles

Interval Start Time	LANDRUM ROAD Eastbound				MILAM ROAD Westbound				SENOIA ROAD Northbound				SENOIA ROAD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
7:00 AM	0	7	10	7	0	34	4	25	1	4	261	21	0	17	272	1	664	3,152	0	0	0	0
7:15 AM	0	8	14	13	0	41	11	14	0	7	325	43	1	24	282	4	787	3,211	0	0	0	0
7:30 AM	0	7	16	17	0	52	15	22	2	12	312	55	3	25	376	4	918	3,138	0	0	0	0
7:45 AM	0	3	16	19	0	50	20	19	1	14	247	40	2	39	309	4	783	2,871	0	0	0	0
8:00 AM	0	5	6	16	0	40	9	22	0	10	271	35	4	14	288	3	723	2,709	0	0	0	0
8:15 AM	0	1	8	8	0	42	8	15	1	3	251	33	3	27	308	6	714		0	0	0	0
8:30 AM	0	2	4	11	0	29	10	18	0	2	250	30	3	26	263	3	651		0	0	0	0
8:45 AM	0	3	7	6	0	27	1	17	2	4	255	17	2	20	258	2	621		0	0	0	0

Peak Rolling Hour Flow Rates

Vehicle Type	Eastbound				Westbound				Northbound				Southbound				Total
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	
Articulated Trucks	0	0	0	0	0	0	0	0	0	0	35	0	0	0	26	0	61
Lights	0	23	52	62	0	180	48	76	3	41	1,089	161	10	102	1,147	14	3,008
Mediums	0	0	0	3	0	3	7	1	0	2	31	12	0	0	82	1	142
Total	0	23	52	65	0	183	55	77	3	43	1,155	173	10	102	1,255	15	3,211

Heavy Vehicle Percentage and Peak Hour Factor

	Eastbound				Westbound				Northbound				Southbound				Total
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	
Heavy Vehicle %	2.1%				3.5%				5.8%				7.9%				6.3%
Heavy Vehicle %	0.0%	0.0%	0.0%	4.6%	0.0%	1.6%	12.7%	1.3%	0.0%	4.7%	5.7%	6.9%	0.0%	0.0%	8.6%	6.7%	6.3%
Peak Hour Factor	0.88				0.88				0.90				0.87				0.87
Peak Hour Factor	0.00	0.78	0.88	0.86	0.00	0.88	0.69	0.80	0.50	0.77	0.89	0.79	0.75	0.68	0.85	0.71	0.87



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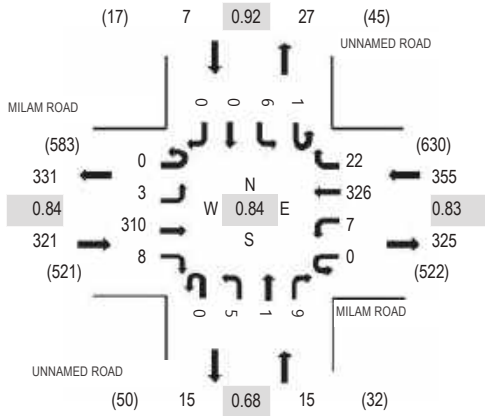
Location: 2 UNNAMED ROAD & MILAM ROAD AM

Date: Wednesday, April 24, 2024

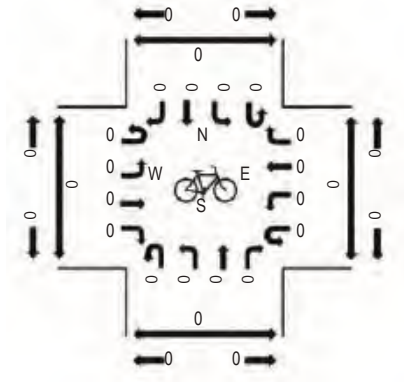
Peak Hour: 07:15 AM - 08:15 AM

Peak 15-Minutes: 07:45 AM - 08:00 AM

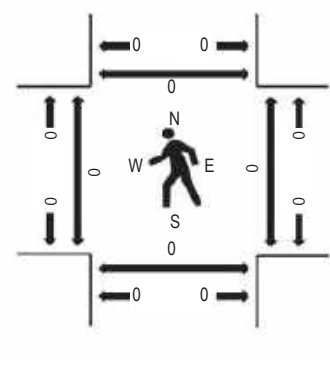
Peak Hour - Motorized Vehicles



Peak Hour - Bicycles



Peak Hour - Pedestrians



Note: Total study counts contained in parentheses.

Traffic Counts - Motorized Vehicles

Interval Start Time	MILAM ROAD Eastbound				MILAM ROAD Westbound				UNNAMED ROAD Northbound				UNNAMED ROAD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
7:00 AM	0	0	34	3	0	0	71	3	0	0	0	1	0	2	0	0	114	674	0	0	0	0
7:15 AM	0	0	83	1	0	1	58	2	0	2	0	1	0	2	0	0	150	698	0	0	0	0
7:30 AM	0	0	81	3	0	1	105	6	0	0	1	4	1	0	0	0	202	692	0	0	0	0
7:45 AM	0	3	92	1	0	1	94	11	0	3	0	2	0	1	0	0	208	623	0	0	0	0
8:00 AM	0	0	54	3	0	4	69	3	0	0	0	2	0	3	0	0	138	526	0	0	0	0
8:15 AM	0	0	52	7	0	5	68	4	0	1	0	4	0	3	0	0	144		0	0	0	2
8:30 AM	0	1	52	4	1	4	56	5	0	2	2	3	0	2	0	1	133		0	0	0	0
8:45 AM	0	1	37	9	0	3	53	2	0	0	0	4	0	2	0	0	111		0	0	0	0

Peak Rolling Hour Flow Rates

Vehicle Type	Eastbound				Westbound				Northbound				Southbound				Total
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	
Articulated Trucks	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lights	0	3	297	8	0	7	315	22	0	5	1	9	1	6	0	0	674
Mediums	0	0	13	0	0	0	11	0	0	0	0	0	0	0	0	0	24
Total	0	3	310	8	0	7	326	22	0	5	1	9	1	6	0	0	698

Heavy Vehicle Percentage and Peak Hour Factor

	Eastbound				Westbound				Northbound				Southbound				Total
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	
Heavy Vehicle %																	3.4%
Heavy Vehicle %	0.0%	0.0%	4.2%	0.0%	0.0%	0.0%	3.4%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	3.4%
Peak Hour Factor																	0.84
Peak Hour Factor	0.00	0.33	0.84	0.64	0.25	0.80	0.80	0.55	0.00	0.50	0.25	0.81	0.25	0.83	0.00	0.25	0.84



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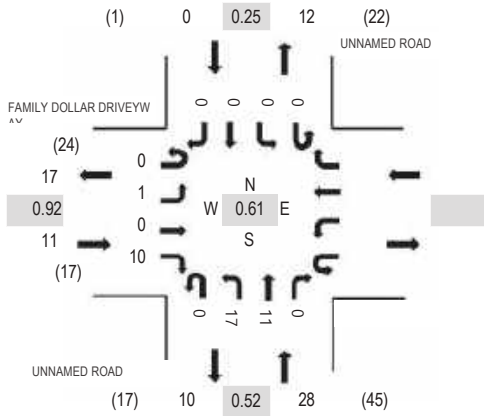
Location: 3 UNNAMED ROAD & FAMILY DOLLAR DRIVEWAY AM

Date: Wednesday, April 24, 2024

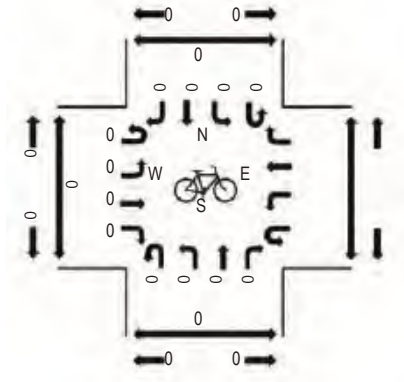
Peak Hour: 07:45 AM - 08:45 AM

Peak 15-Minutes: 07:45 AM - 08:00 AM

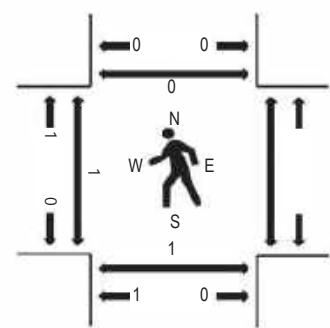
Peak Hour - Motorized Vehicles



Peak Hour - Bicycles



Peak Hour - Pedestrians



Note: Total study counts contained in parentheses.

Traffic Counts - Motorized Vehicles

Interval Start Time	FAMILY DOLLAR DRIVEWAY Eastbound				UNNAMED ROAD Northbound				UNNAMED ROAD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
7:00 AM	0	0	0	2	0	2	1	0	0	0	0	0	0	5	34	0	1	0
7:15 AM	0	0	0	2	0	1	1	0	0	0	0	0	0	4	35	0	0	0
7:30 AM	0	0	0	1	0	4	4	0	0	0	0	0	0	9	38	0	0	0
7:45 AM	0	1	0	1	0	7	7	0	0	0	0	0	0	16	39	0	0	0
8:00 AM	0	0	0	3	0	2	1	0	0	0	0	0	0	6	29	1	1	0
8:15 AM	0	0	0	3	0	3	1	0	0	0	0	0	0	7	0	0	0	0
8:30 AM	0	0	0	3	0	5	2	0	0	0	0	0	0	10	0	0	0	0
8:45 AM	0	0	0	1	0	0	4	0	0	0	1	0	0	6	0	0	0	0

Peak Rolling Hour Flow Rates

Vehicle Type	Eastbound				Westbound				Northbound				Southbound				Total	
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right		
Articulated Trucks	0	0	0	0					0	0	0	0	0	0	0	0	0	0
Lights	0	1	0	10					0	17	11	0	0	0	0	0	0	39
Mediums	0	0	0	0					0	0	0	0	0	0	0	0	0	0
Total	0	1	0	10					0	17	11	0	0	0	0	0	0	39

Heavy Vehicle Percentage and Peak Hour Factor

	Eastbound				Westbound				Northbound				Southbound				Total	
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right		
Heavy Vehicle %																		0.0%
Heavy Vehicle %	0.0%	0.0%	0.0%	0.0%					0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
Peak Hour Factor																		0.61
Peak Hour Factor	0.00	0.25	0.00	0.83					0.00	0.61	0.46	0.00	0.00	0.00	0.25	0.00	0.61	



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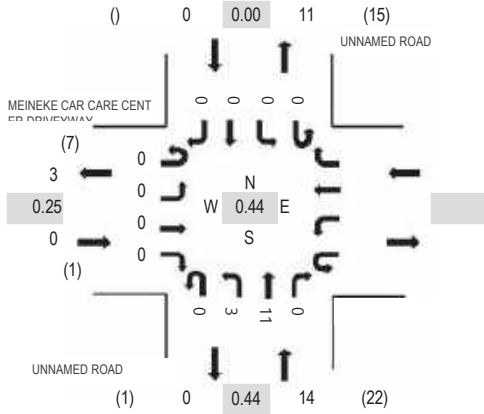
Location: 4 UNNAMED ROAD & MEINEKE CAR CARE CENTER DRIVEWAY AM

Date: Wednesday, April 24, 2024

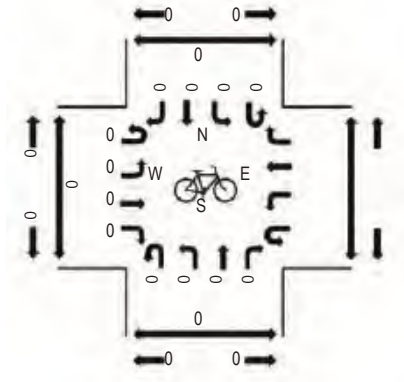
Peak Hour: 07:00 AM - 08:00 AM

Peak 15-Minutes: 07:45 AM - 08:00 AM

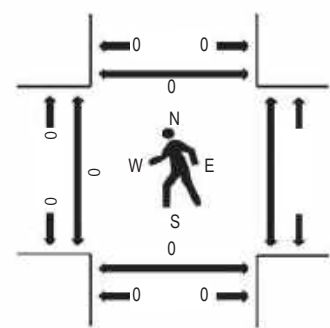
Peak Hour - Motorized Vehicles



Peak Hour - Bicycles



Peak Hour - Pedestrians



Note: Total study counts contained in parentheses.

Traffic Counts - Motorized Vehicles

Interval Start Time	MEINEKE CAR CARE CENTER DRIVEWAY Eastbound				UNNAMED ROAD Westbound				UNNAMED ROAD Northbound				UNNAMED ROAD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
7:00 AM	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	1	14	0	0	0	0
7:15 AM	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	1	14	0	0	0	0
7:30 AM	0	0	0	0	0	0	0	0	0	0	4	0	0	0	0	0	4	14	0	0	0	0
7:45 AM	0	0	0	0	0	0	0	0	0	3	5	0	0	0	0	0	8	12	0	0	0	0
8:00 AM	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	1	9	0	0	0	0
8:15 AM	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	1	0	0	0	0	0
8:30 AM	0	0	0	0	0	0	0	0	0	0	2	0	0	0	0	0	2	0	0	0	0	0
8:45 AM	0	0	0	1	0	0	0	0	0	3	1	0	0	0	0	0	5	0	0	0	0	0

Peak Rolling Hour Flow Rates

Vehicle Type	Eastbound				Westbound				Northbound				Southbound				Total
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	
Articulated Trucks	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Lights	0	0	0	0	0	0	0	0	0	3	11	0	0	0	0	0	14
Mediums	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	3	11	0	0	0	0	0	14

Heavy Vehicle Percentage and Peak Hour Factor

	Eastbound				Westbound				Northbound				Southbound				Total
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	
Heavy Vehicle %	0.0%				0.0%				0.0%				0.0%				0.0%
Heavy Vehicle %	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
Peak Hour Factor	0.25				0.44				0.00				0.44				0.44
Peak Hour Factor	0.00	0.00	0.00	0.25	0.00	0.33	0.55	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.44



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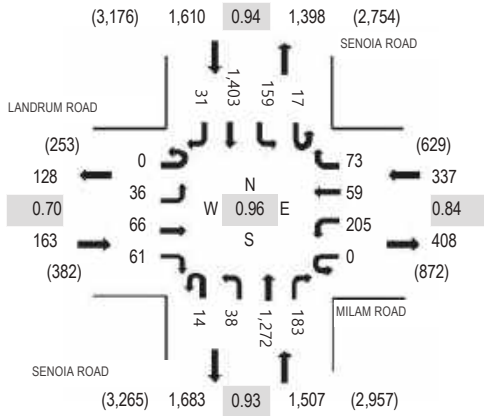
Location: 1 SENOIA ROAD & MILAM ROAD PM

Date: Wednesday, April 24, 2024

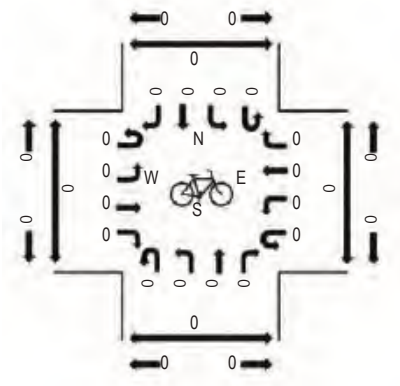
Peak Hour: 04:30 PM - 05:30 PM

Peak 15-Minutes: 05:15 PM - 05:30 PM

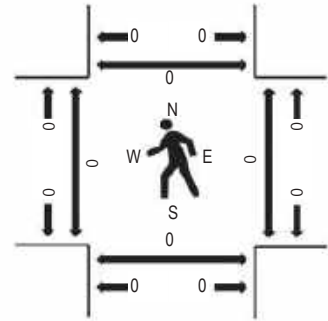
Peak Hour - Motorized Vehicles



Peak Hour - Bicycles



Peak Hour - Pedestrians



Note: Total study counts contained in parentheses.

Traffic Counts - Motorized Vehicles

Interval Start Time	LANDRUM ROAD Eastbound				MILAM ROAD Westbound				SENOIA ROAD Northbound				SENOIA ROAD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
4:00 PM	0	23	41	24	0	36	17	16	1	9	295	48	8	38	310	10	876	3,560	0	0	0	0
4:15 PM	0	15	29	21	0	43	20	10	3	9	274	47	7	47	375	3	903	3,577	0	0	0	0
4:30 PM	0	16	25	19	0	65	15	20	3	9	305	42	2	31	320	13	885	3,617	0	0	0	0
4:45 PM	0	9	11	13	0	55	15	15	6	8	298	54	4	36	362	10	896	3,608	0	0	0	0
5:00 PM	0	6	18	14	0	36	17	18	4	6	317	41	2	44	366	4	893	3,584	0	0	0	0
5:15 PM	0	5	12	15	0	49	12	20	1	15	352	46	9	48	355	4	943		0	0	0	0
5:30 PM	0	11	18	8	0	54	15	16	4	10	317	56	11	43	304	9	876		0	0	0	0
5:45 PM	0	8	9	12	0	43	9	13	5	7	325	40	7	48	339	7	872		0	0	0	0

Peak Rolling Hour Flow Rates

Vehicle Type	Eastbound				Westbound				Northbound				Southbound				Total
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	
Articulated Trucks	0	0	0	0	0	0	0	1	0	0	14	0	0	0	17	0	32
Lights	0	35	64	60	0	203	57	71	14	38	1,218	180	16	159	1,341	31	3,487
Mediums	0	1	2	1	0	2	2	1	0	0	40	3	1	0	45	0	98
Total	0	36	66	61	0	205	59	73	14	38	1,272	183	17	159	1,403	31	3,617

Heavy Vehicle Percentage and Peak Hour Factor

	Eastbound				Westbound				Northbound				Southbound				Total
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	
Heavy Vehicle %	2.5%				1.8%				3.8%				3.9%				3.6%
Heavy Vehicle %	0.0%	2.8%	3.0%	1.6%	0.0%	1.0%	3.4%	2.7%	0.0%	0.0%	4.2%	1.6%	5.9%	0.0%	4.4%	0.0%	3.6%
Peak Hour Factor	0.70				0.84				0.93				0.94				0.96
Peak Hour Factor	0.00	0.68	0.65	0.80	0.00	0.79	0.84	0.91	0.67	0.65	0.93	0.88	0.66	0.95	0.95	0.69	0.96



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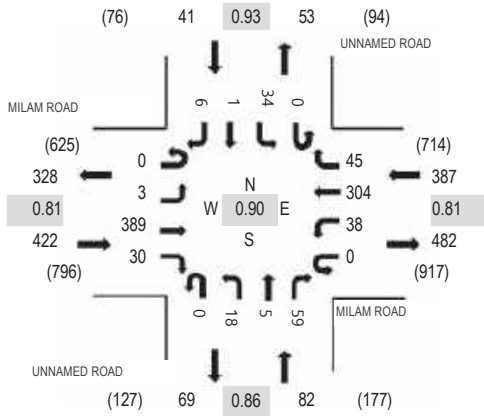
Location: 2 UNNAMED ROAD & MILAM ROAD PM

Date: Wednesday, April 24, 2024

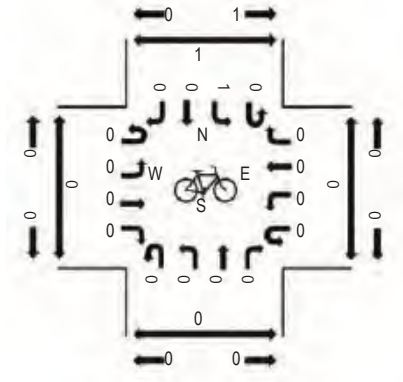
Peak Hour: 04:00 PM - 05:00 PM

Peak 15-Minutes: 04:45 PM - 05:00 PM

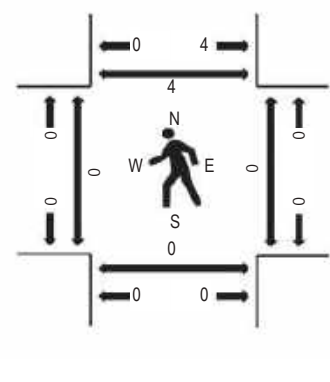
Peak Hour - Motorized Vehicles



Peak Hour - Bicycles



Peak Hour - Pedestrians



Note: Total study counts contained in parentheses.

Traffic Counts - Motorized Vehicles

Interval Start Time	MILAM ROAD Eastbound				MILAM ROAD Westbound				UNNAMED ROAD Northbound				UNNAMED ROAD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
4:00 PM	0	2	119	10	0	8	65	13	0	6	1	16	0	9	0	1	250	932	0	0	0	4
4:15 PM	0	1	97	7	0	8	68	7	0	6	1	6	0	8	0	2	211	880	0	0	0	0
4:30 PM	0	0	73	5	0	9	81	9	0	3	2	19	0	9	1	1	212	882	0	0	0	0
4:45 PM	0	0	100	8	0	13	90	16	0	3	1	18	0	8	0	2	259	896	0	0	0	0
5:00 PM	0	0	85	8	0	10	57	5	0	7	1	17	0	7	0	1	198	831	0	0	0	0
5:15 PM	0	1	86	5	0	8	74	8	0	5	2	17	0	7	0	0	213		0	0	0	1
5:30 PM	0	1	91	10	0	5	71	10	0	7	1	21	0	7	0	2	226		0	1	0	1
5:45 PM	0	2	80	5	0	7	63	9	0	6	1	10	0	7	0	4	194		0	0	0	0

Peak Rolling Hour Flow Rates

Vehicle Type	Eastbound				Westbound				Northbound				Southbound				Total
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	
Articulated Trucks	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	1	2
Lights	0	2	378	30	0	38	296	44	0	18	5	59	0	34	1	4	909
Mediums	0	0	11	0	0	0	8	1	0	0	0	0	0	0	0	1	21
Total	0	3	389	30	0	38	304	45	0	18	5	59	0	34	1	6	932

Heavy Vehicle Percentage and Peak Hour Factor

	Eastbound				Westbound				Northbound				Southbound				Total
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	
Heavy Vehicle %		2.8%				2.3%				0.0%				4.9%			2.5%
Heavy Vehicle %	0.0%	33.3%	2.8%	0.0%	0.0%	0.0%	2.6%	2.2%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	33.3%	2.5%
Peak Hour Factor		0.81				0.81				0.86				0.93			0.90
Peak Hour Factor	0.00	0.50	0.82	0.78	0.00	0.77	0.84	0.70	0.00	0.89	0.75	0.87	0.00	0.94	0.25	0.44	0.90



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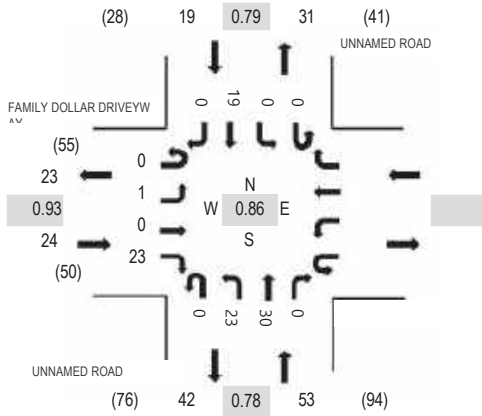
Location: 3 UNNAMED ROAD & FAMILY DOLLAR DRIVEWAY PM

Date: Wednesday, April 24, 2024

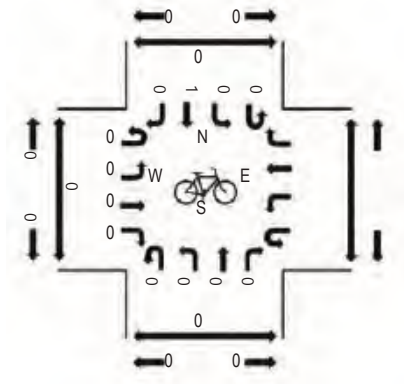
Peak Hour: 04:00 PM - 05:00 PM

Peak 15-Minutes: 04:45 PM - 05:00 PM

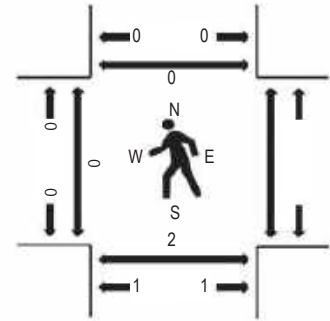
Peak Hour - Motorized Vehicles



Peak Hour - Bicycles



Peak Hour - Pedestrians



Note: Total study counts contained in parentheses.

Traffic Counts - Motorized Vehicles

Interval Start Time	FAMILY DOLLAR DRIVEWAY Eastbound				UNNAMED ROAD Northbound				UNNAMED ROAD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
4:00 PM	0	0	0	6	0	8	7	0	0	0	4	0	25	96	0	2	0	
4:15 PM	0	0	0	6	0	3	7	0	0	0	4	0	20	84	0	0	0	
4:30 PM	0	0	0	6	0	2	9	0	0	0	6	0	23	82	0	0	0	
4:45 PM	0	1	0	5	0	10	7	0	0	0	5	0	28	81	0	0	0	
5:00 PM	0	0	0	5	0	5	1	0	0	0	2	0	13	76	0	0	0	
5:15 PM	0	0	0	7	0	10	1	0	0	0	0	0	18	0	0	0	0	
5:30 PM	0	1	0	6	0	8	4	0	0	0	3	0	22	1	1	0	0	
5:45 PM	0	0	0	7	0	9	3	0	0	0	4	0	23	0	0	0	0	

Peak Rolling Hour Flow Rates

Vehicle Type	Eastbound				Westbound				Northbound				Southbound				Total
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	
Articulated Trucks	0	0	0	1					0	1	0	0	0	0	0	0	2
Lights	0	1	0	22					0	22	29	0	0	0	18	0	92
Mediums	0	0	0	0					0	0	1	0	0	0	1	0	2
Total	0	1	0	23					0	23	30	0	0	0	19	0	96

Heavy Vehicle Percentage and Peak Hour Factor

	Eastbound				Westbound				Northbound				Southbound				Total
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	
Heavy Vehicle %		4.2%								3.8%				5.3%			4.2%
Heavy Vehicle %	0.0%	0.0%	0.0%	4.3%					0.0%	4.3%	3.3%	0.0%	0.0%	0.0%	5.3%	0.0%	4.2%
Peak Hour Factor		0.93								0.78				0.79			0.86
Peak Hour Factor	0.00	0.50	0.00	0.89					0.00	0.83	0.83	0.00	0.00	0.00	0.79	0.00	0.86



(303) 216-2439
www.alltrafficdata.net

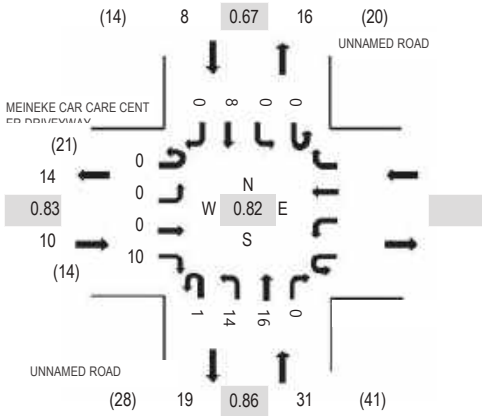
Location: 4 UNNAMED ROAD & MEINEKE CAR CARE CENTER DRIVEYWAY PM

Date: Wednesday, April 24, 2024

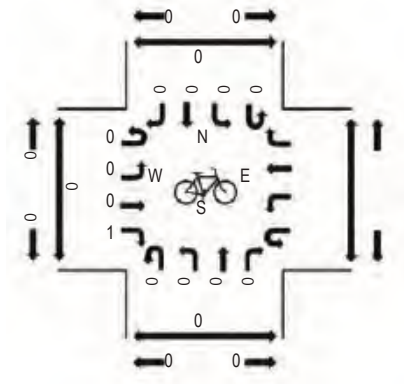
Peak Hour: 04:00 PM - 05:00 PM

Peak 15-Minutes: 04:30 PM - 04:45 PM

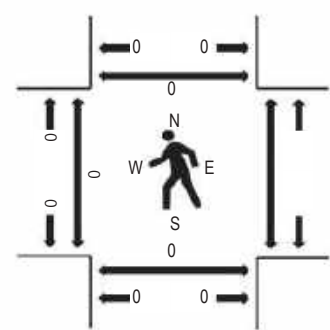
Peak Hour - Motorized Vehicles



Peak Hour - Bicycles



Peak Hour - Pedestrians



Note: Total study counts contained in parentheses.

Traffic Counts - Motorized Vehicles

Interval Start Time	MEINEKE CAR CARE CENTER DRIVEYWAY Eastbound				UNNAMED ROAD Westbound				UNNAMED ROAD Northbound				UNNAMED ROAD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
4:00 PM	0	0	0	2					1	1	5	0	0	0	1	0	10	49	0	0	0	0
4:15 PM	0	0	0	2					0	5	2	0	0	0	2	0	11	42	0	0	0	0
4:30 PM	0	0	0	3					0	6	3	0	0	0	3	0	15	32	0	0	0	0
4:45 PM	0	0	0	3					0	2	6	0	0	0	2	0	13	25	0	0	0	0
5:00 PM	0	0	0	1					0	1	0	0	0	0	1	0	3	20	0	0	0	0
5:15 PM	0	0	0	0					0	0	1	0	0	0	0	0	1		0	0	0	0
5:30 PM	0	0	0	2					0	3	2	0	0	0	1	0	8		0	0	0	0
5:45 PM	0	0	0	1					0	2	1	0	0	0	3	1	8		0	0	0	0

Peak Rolling Hour Flow Rates

Vehicle Type	Eastbound				Westbound				Northbound				Southbound				Total
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	
Articulated Trucks	0	0	0	0					0	0	0	0	0	0	0	0	0
Lights	0	0	0	9					1	14	15	0	0	0	8	0	47
Mediums	0	0	0	1					0	0	1	0	0	0	0	0	2
Total	0	0	0	10					1	14	16	0	0	0	8	0	49

Heavy Vehicle Percentage and Peak Hour Factor

	Eastbound				Westbound				Northbound				Southbound				Total
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	
Heavy Vehicle %				10.0%								3.2%				0.0%	4.1%
Heavy Vehicle %	0.0%	0.0%	0.0%	10.0%					0.0%	0.0%	6.3%	0.0%	0.0%	0.0%	0.0%	0.0%	4.1%
Peak Hour Factor				0.83								0.86				0.67	0.82
Peak Hour Factor	0.00	0.00	0.00	0.83					0.25	0.58	0.67	0.00	0.00	0.00	0.67	0.25	0.82

Appendix B

Site Plan

DATE	REVISIONS



PTG
 PTTMAN & GREER
 ENGINEERING P.C.
 1050 BARBER CREEK DRIVE - BLDG. 400
 WATKINSVILLE, GA. 30677
 P. 706.419.9244 - WWW.PTTMANANDGREER.COM



ROBERT P. PITTMAN
 PROFESSIONAL ENGINEER
 LICENSE NO. 11038
 CIVIL
 STATE OF GEORGIA
 EXPIRES 12/31/2024

14.22 AC. - 5650 MILAM ROAD
FAIRBURN APARTMENTS-BBRC
 FULTON COUNTY, GEORGIA

PROJECT NUMBER: 2023-047
 DATE: 01/23/2024
 REZONE CONCEPT PLAN
 34

SITE COVERAGE DATA

TOTAL PROJECT COVERAGE: 14.22 ACRES (9,832,887 SF)
 NET SITE FLOORAGE: 1,432,800 SQ FT (327,748 SF)
 ESTIMATED COVERAGE: 3,548 SF (0.15% OF SITE)
 BUILDING COVERAGE: 1,088 SF (0.01% OF SITE)
 CONCOURSE & PARKING: 1,088 SF (0.01% OF SITE)
 DRIVEWAY: 1,088 SF (0.01% OF SITE)
 GARAGE: 1,088 SF (0.01% OF SITE)
 TOTAL LANDSCAPE AREA: 1,088 SF (0.01% OF SITE)
 TOTAL LANDSCAPE AREA: 1,088 SF (0.01% OF SITE)
 THESE PROTECTION LANDSCAPES AND MAINTENANCE LANDSCAPES SHALL BE RELATED TO THE PROPOSED DEVELOPMENT AND SHALL BE MAINTAINED DURING THE LIFE OF THE DEVELOPMENT. ANY CHANGES TO THE PROPOSED DEVELOPMENT SHALL BE APPROVED BY THE CITY OF FAIRBURN AND THE FULTON COUNTY BOARD OF SUPERVISORS. ANY CHANGES TO THE PROPOSED DEVELOPMENT SHALL BE APPROVED BY THE CITY OF FAIRBURN AND THE FULTON COUNTY BOARD OF SUPERVISORS.

PARKING DATA

RESIDENTIAL REQUIREMENTS = 1 SPACE PER UNITS UNIT
 RETAIL AND COMMERCIAL USES = 1 SPACE PER 100 SF OF FLOOR AREA
 TOTAL PARKING: 143 SPACES
 TOTAL GARAGE PARKING: 143 SPACES
 TOTAL CONCRETE GARAGE SPACE: 2,100,000 SQ FT (1,050,000 SF)
 TOTAL GARAGE SPACE: 2,100,000 SQ FT (1,050,000 SF)
 TOTAL GARAGE SPACE: 2,100,000 SQ FT (1,050,000 SF)
 TOTAL GARAGE SPACE: 2,100,000 SQ FT (1,050,000 SF)

BUILDING DATA

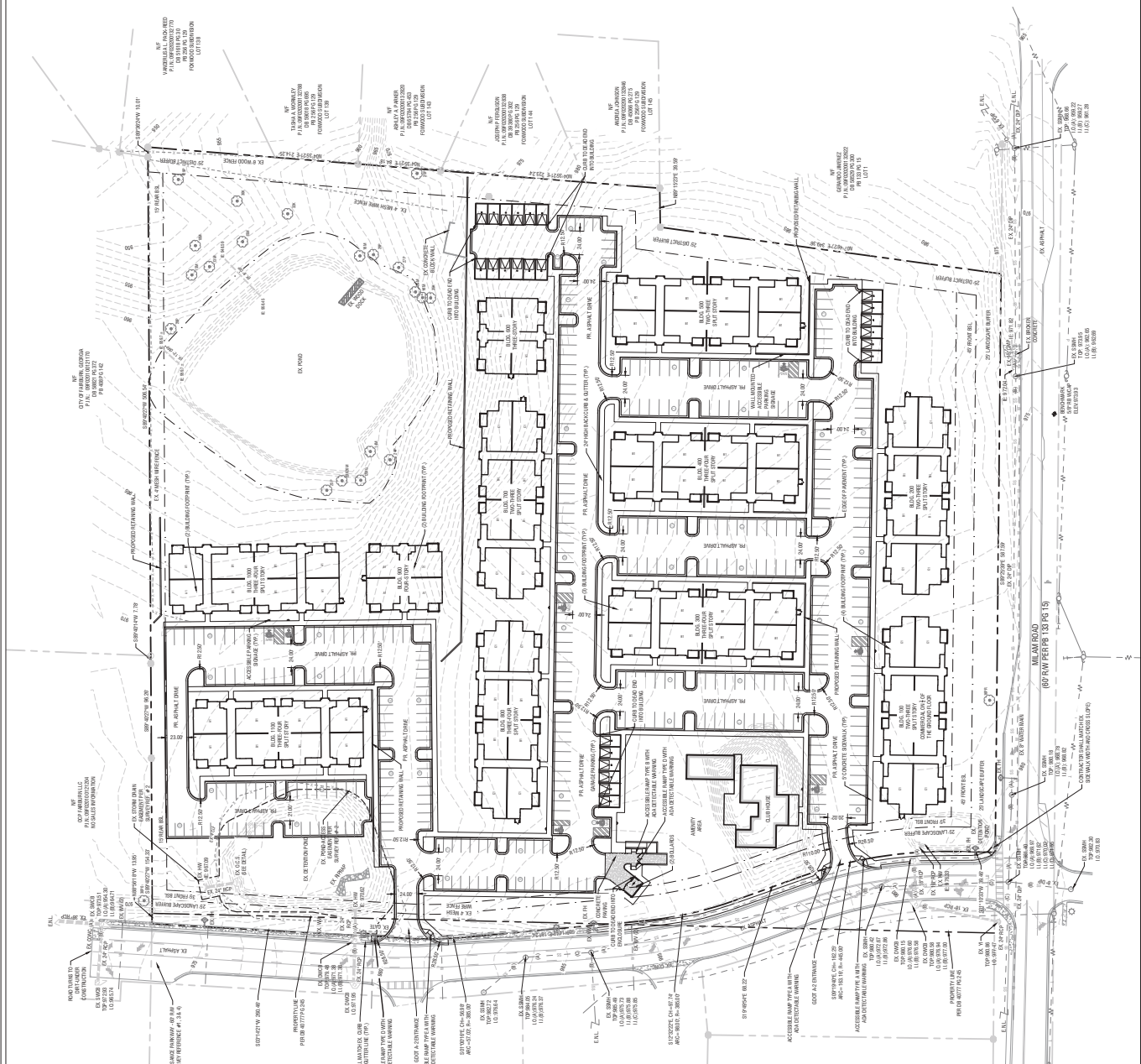
NET FLOOR AREA: 1,432,800 SF
 TOTAL GARAGE PARKING: 143 SPACES
 TOTAL CONCRETE GARAGE SPACE: 2,100,000 SQ FT (1,050,000 SF)
 TOTAL GARAGE SPACE: 2,100,000 SQ FT (1,050,000 SF)
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 TOTAL GARAGE SPACE: 2,100,000 SQ FT (1,050,000 SF)

REZONE CONCEPT PLAN NOTES

- THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE CITY OF FAIRBURN AND THE FULTON COUNTY BOARD OF SUPERVISORS. ANY CHANGES TO THE PROPOSED DEVELOPMENT SHALL BE APPROVED BY THE CITY OF FAIRBURN AND THE FULTON COUNTY BOARD OF SUPERVISORS.
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STORMWATER FACILITIES

CONCRETE CURB AND GUTTER AND COUNTY APPROVED WALLS SHALL BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE LIFE OF THE DEVELOPMENT. ANY CHANGES TO THE PROPOSED DEVELOPMENT SHALL BE APPROVED BY THE CITY OF FAIRBURN AND THE FULTON COUNTY BOARD OF SUPERVISORS.



VICINITY MAP - NOT TO SCALE

PLANATION RD
 FORTY-NINE RD
 MILAM RD
 BARBER CREEK DR
 WATKINSVILLE, GA
 FAIRBURN, GA

PROJECT OWNER
 K&L DEVELOPMENT LLC
 1050 BARBER CREEK DRIVE
 WATKINSVILLE, GA 30677
 ATTY: [REDACTED]

DEVELOPER
 ANTHONY AGOSTINI
 1050 BARBER CREEK DRIVE
 WATKINSVILLE, GA 30677
 ATTY: [REDACTED]

PHYSICAL ADDRESS
 14.22 ACRES (9,832,887 SF)
 5650 MILAM ROAD
 FAIRBURN, GA 30208
 FULTON COUNTY, GEORGIA

TOTAL PROJECT FLOORAGE: 1,432,800 SQ FT (327,748 SF)
NET SITE FLOORAGE: 1,432,800 SQ FT (327,748 SF)
ESTIMATED COVERAGE: 3,548 SF (0.15% OF SITE)

REVISIONS

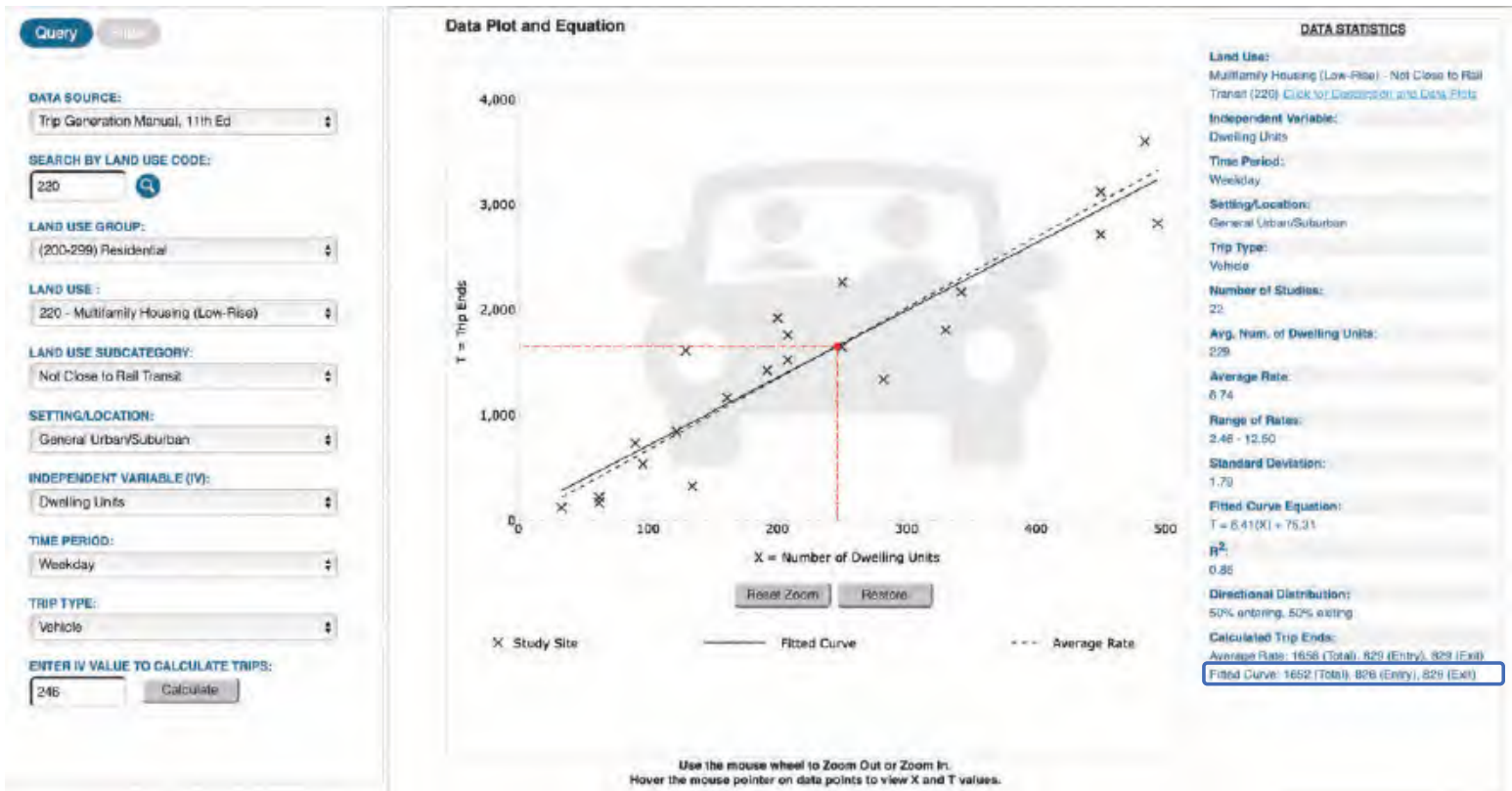
DATE	REVISIONS

PROJECT NUMBER: 2023-047
DATE: 01/23/2024
REZONE CONCEPT PLAN
34

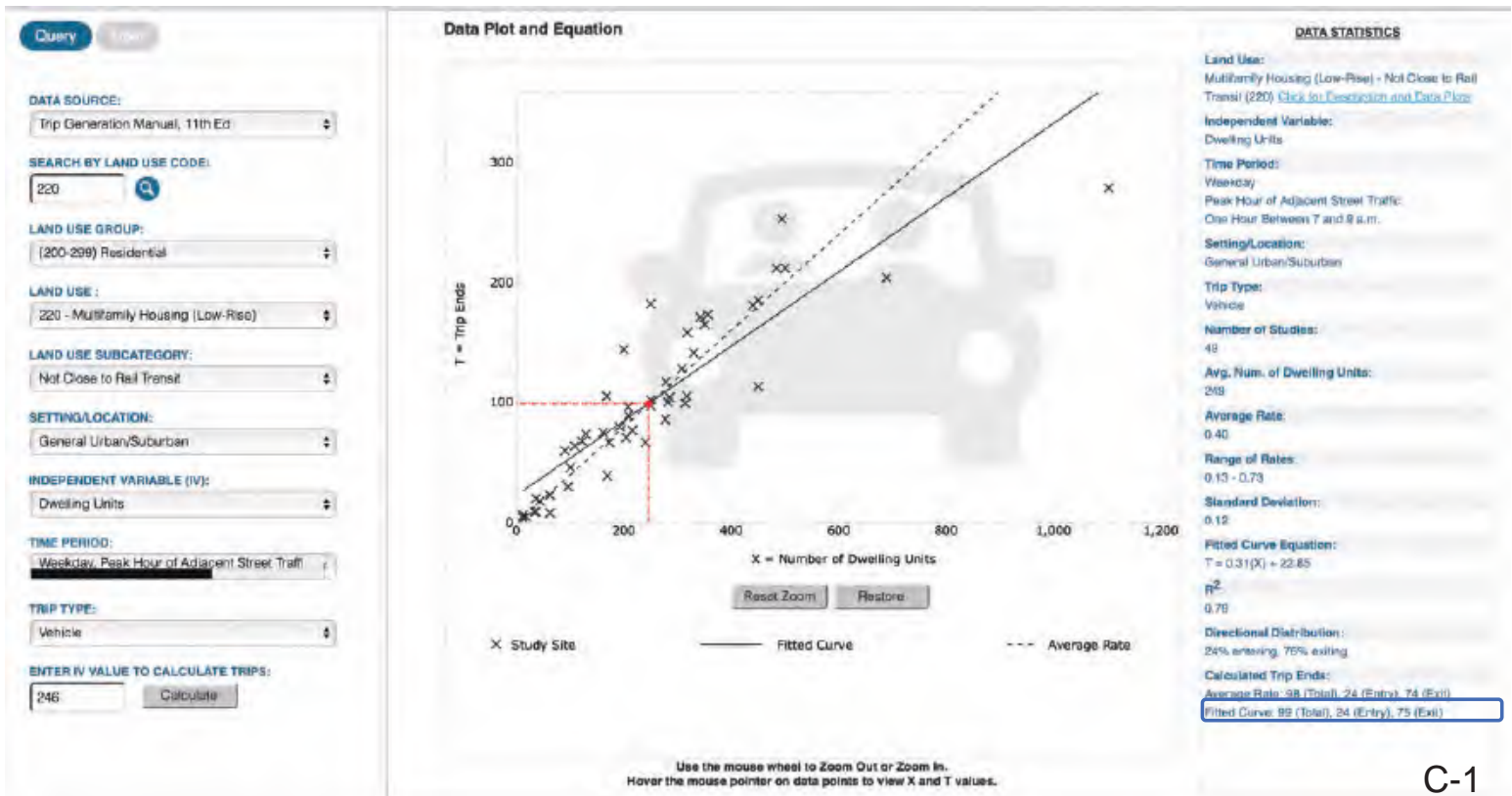
Appendix C

Trip Generation Reports

DAILY TRIPS, Multi-Family Homes



AM PEAK HOUR TRIPS, Multi-Family Homes



PM PEAK HOUR TRIPS, Multi-Family Homes (Low-Rise)

Query 10/10

DATA SOURCE:
Trip Generation Manual, 11th Ed

SEARCH BY LAND USE CODE:
220

LAND USE GROUP:
(200-299) Residential

LAND USE:
220 - Multifamily Housing (Low-Rise)

LAND USE SUBCATEGORY:
Not Close to Rail Transit

SETTING/LOCATION:
General Urban/Suburban

INDEPENDENT VARIABLE (IV):
Dwelling Units

TIME PERIOD:
Weekday, Peak Hour of Adjacent Street Traffic

TRIP TYPE:
Vehicle

ENTER IV VALUE TO CALCULATE TRIPS:
246 Calculate

Data Plot and Equation

Use the mouse wheel to Zoom Out or Zoom in.
Hover the mouse pointer on data points to view X and T values.

DATA STATISTICS

Land Use:
Multifamily Housing (Low-Rise) - Not Close to Rail Transit (220) [Click for Description and Data Plot](#)

Independent Variable:
Dwelling Units

Time Period:
Weekday
Peak Hour of Adjacent Street Traffic
One Hour Between 4 and 6 p.m.

Setting/Location:
General Urban/Suburban

Trip Type:
Vehicle

Number of Studies:
88

Avg. Num. of Dwelling Units:
241

Average Rate:
0.51

Range of Rates:
0.08 - 1.04

Standard Deviation:
0.15

Fitted Curve Equation:
 $T = 0.43(X) + 20.35$

$R^2:$
0.84

Directional Distribution:
63% entering, 37% exiting

Calculated Trip Ends:
Average Rate: 125 (Total), 73 (Entry), 46 (Exit)
Fitted Curve: 125 (Total), 80 (Entry), 45 (Exit)

DAILY TRIPS, Fast-Food Rest. w/o Drive Thru

Query Help

DATA SOURCE:
Trip Generation Manual, 11th Ed

SEARCH BY LAND USE CODE:
933

LAND USE GROUP:
(900-999) Services

LAND USE:
933 - Fast-Food Restaurant without Drive-Thru

LAND USE SUBCATEGORY:
All Sites

SETTING/LOCATION:
General Urban/Suburban

INDEPENDENT VARIABLE (IV):
1000 Sq. Ft. GFA

TIME PERIOD:
Weekday

TRIP TYPE:
Vehicle

ENTER IV VALUE TO CALCULATE TRIPS:
3 Calculate

Data Plot and Equation

X Study Site --- Average Rate

Use the mouse wheel to Zoom Out or Zoom In.
Hover the mouse pointer on data points to view X and T values.

DATA STATISTICS

Land Use:
Fast-Food Restaurant without Drive-Through
Window (933) [Click for Description and Data Plots](#)

Independent Variable:
1000 Sq. Ft. GFA

Time Period:
Weekday

Setting/Location:
General Urban/Suburban

Trip Type:
Vehicle

Number of Studies:
6

Avg. 1000 Sq. Ft. GFA:
1

Average Rate:
450.49

Range of Rates:
95.91 - 1053.57

Standard Deviation:
310.99

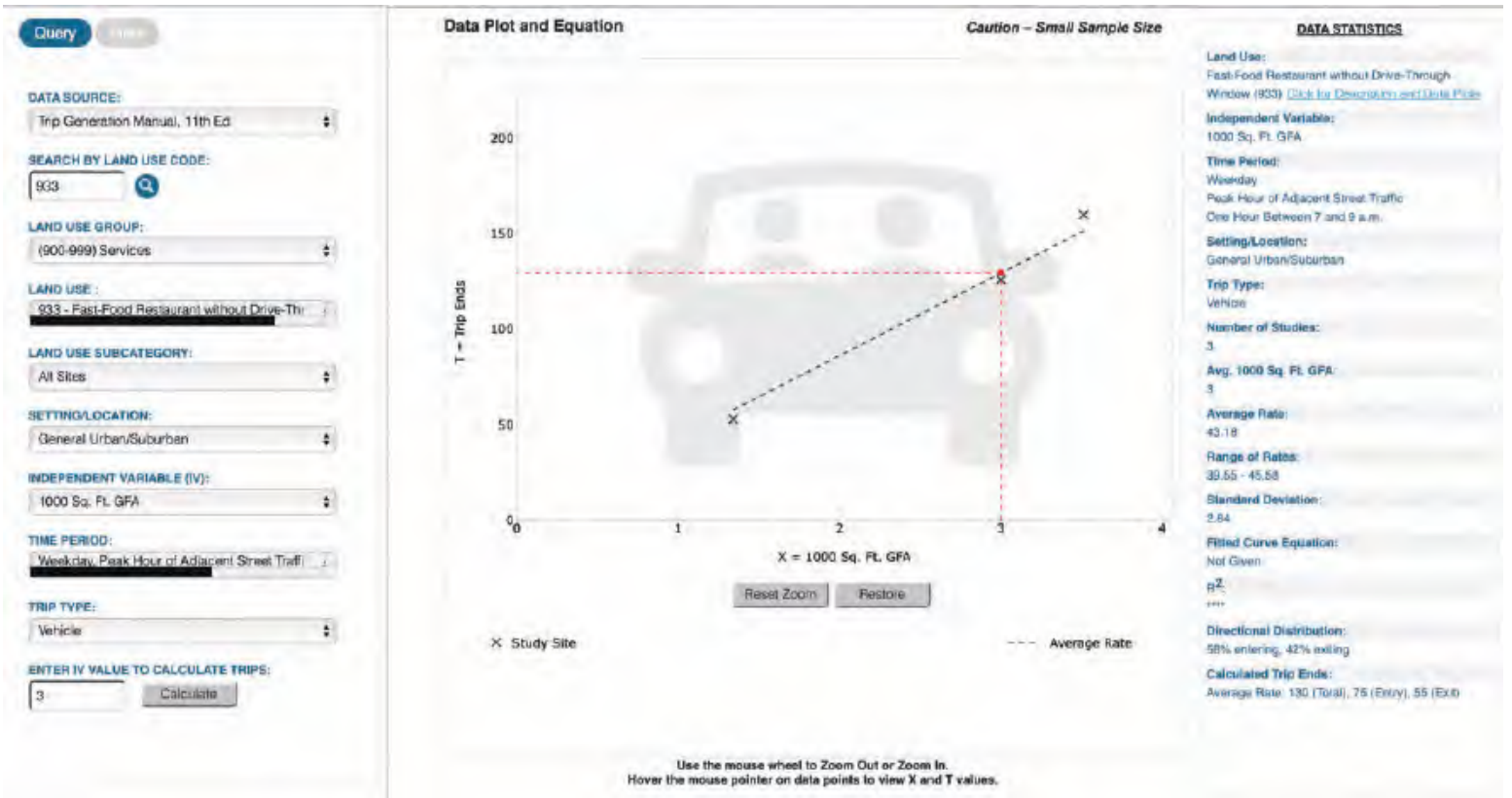
Fitted Curve Equation:
Not Given

R²:

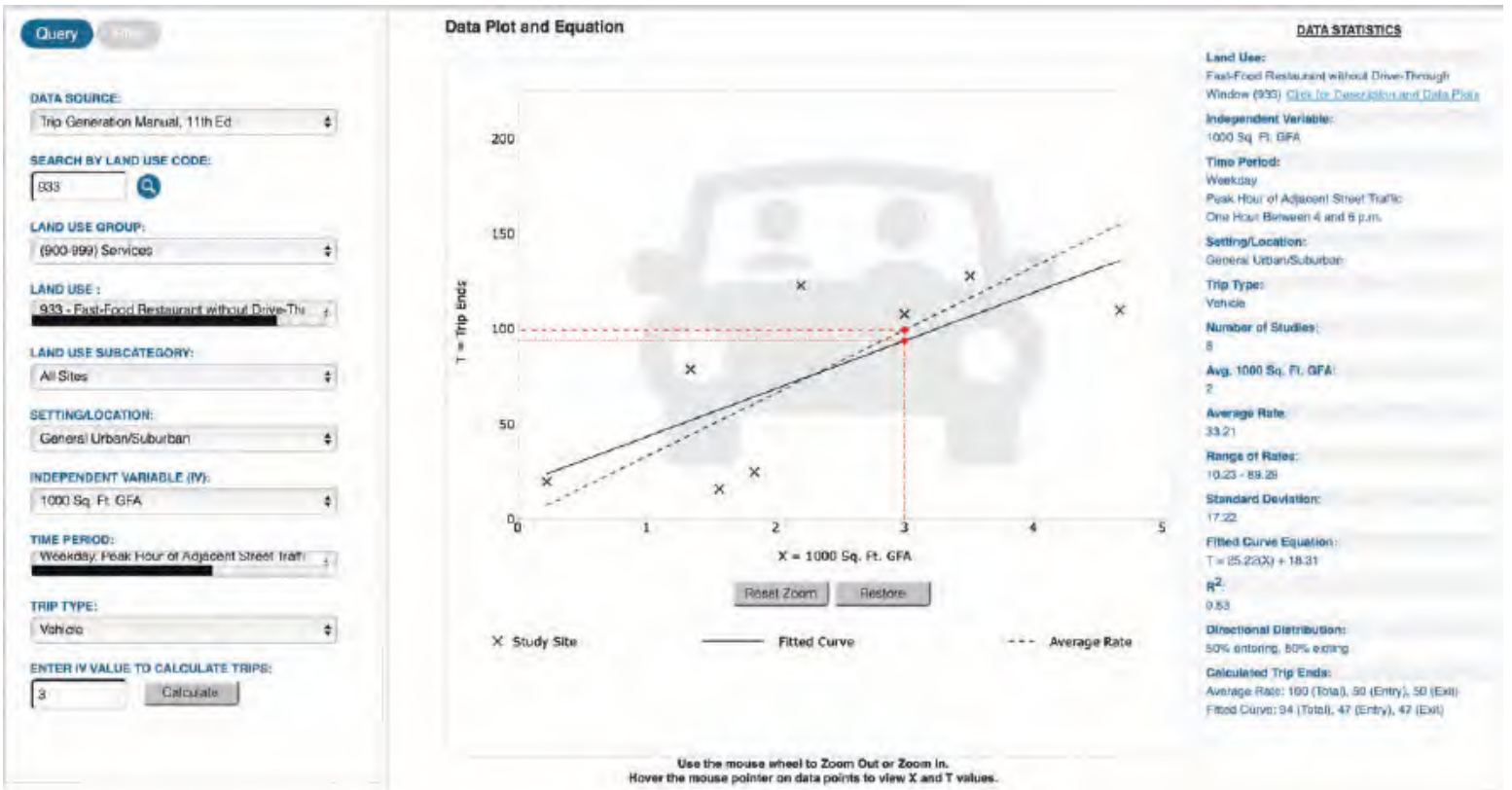
Directional Distribution:
50% entering, 50% exiting

Calculated Trip Ends:
Average Rate: 1351 (Total), 676 (Entry), 675 (Exit)

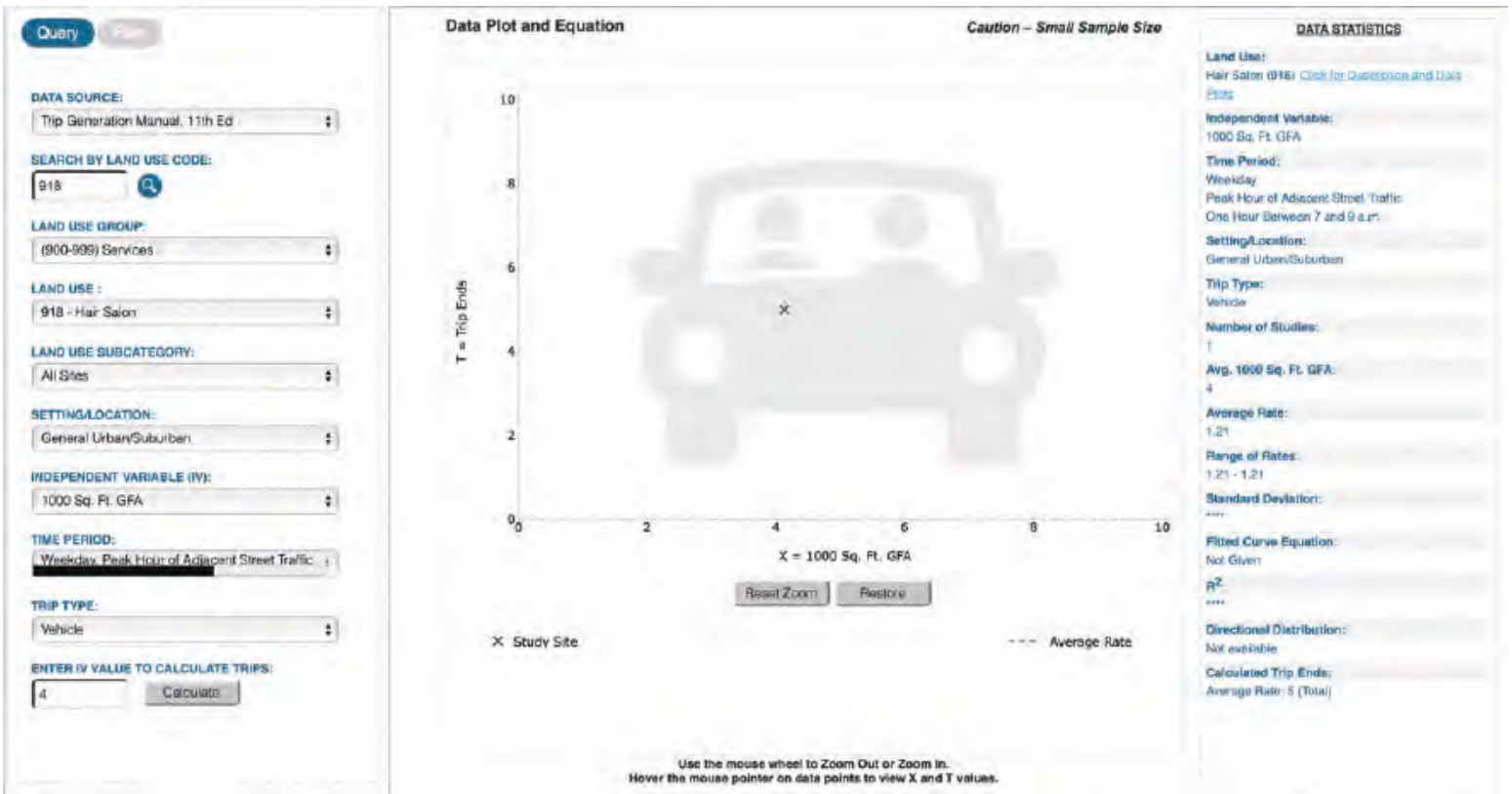
AM PEAK HOUR TRIPS, Fast-Food Rest. w/o Drive Thru



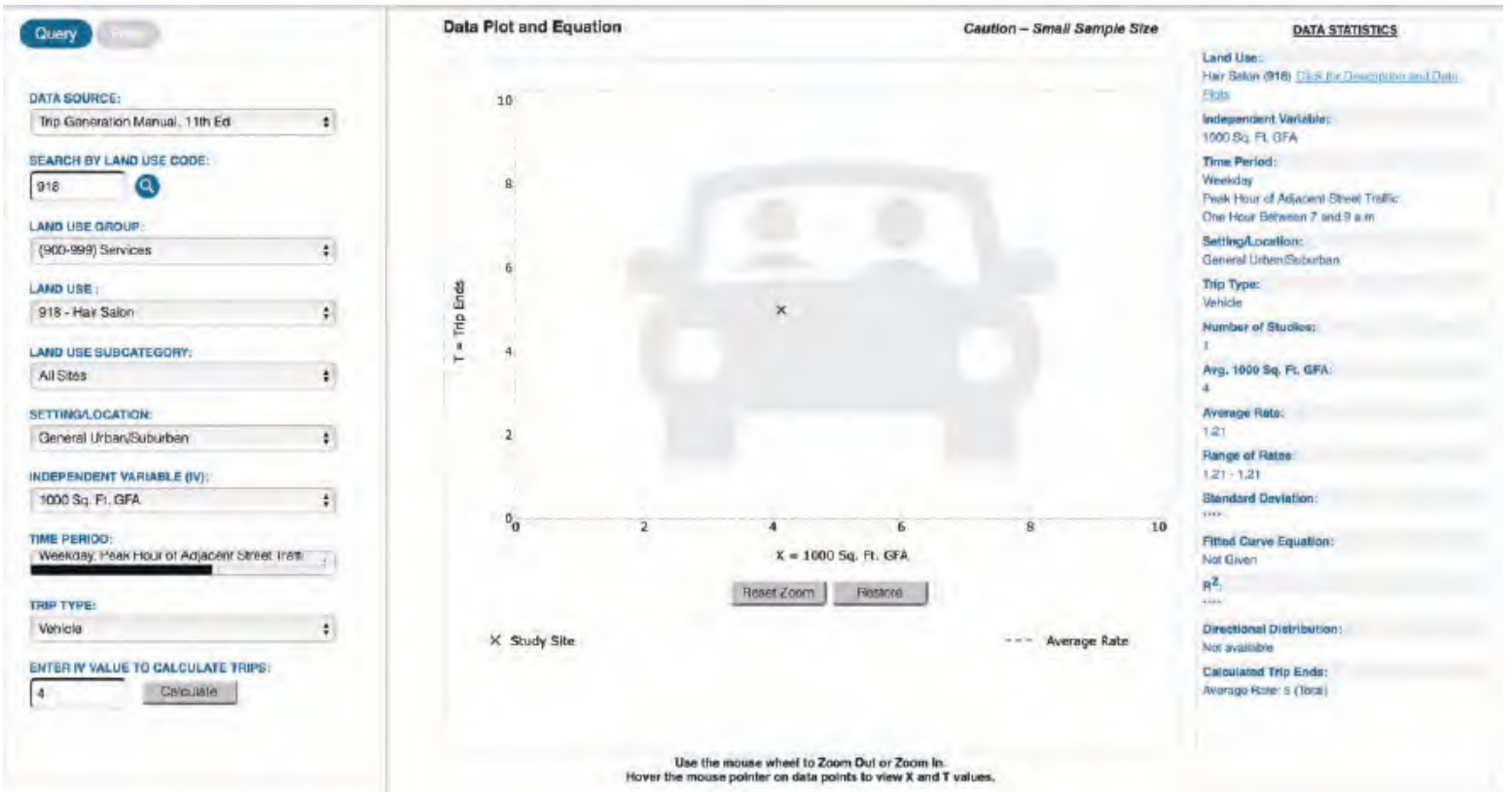
PM PEAK HOUR TRIPS, Fast-Food Rest. w/o Drive Thru



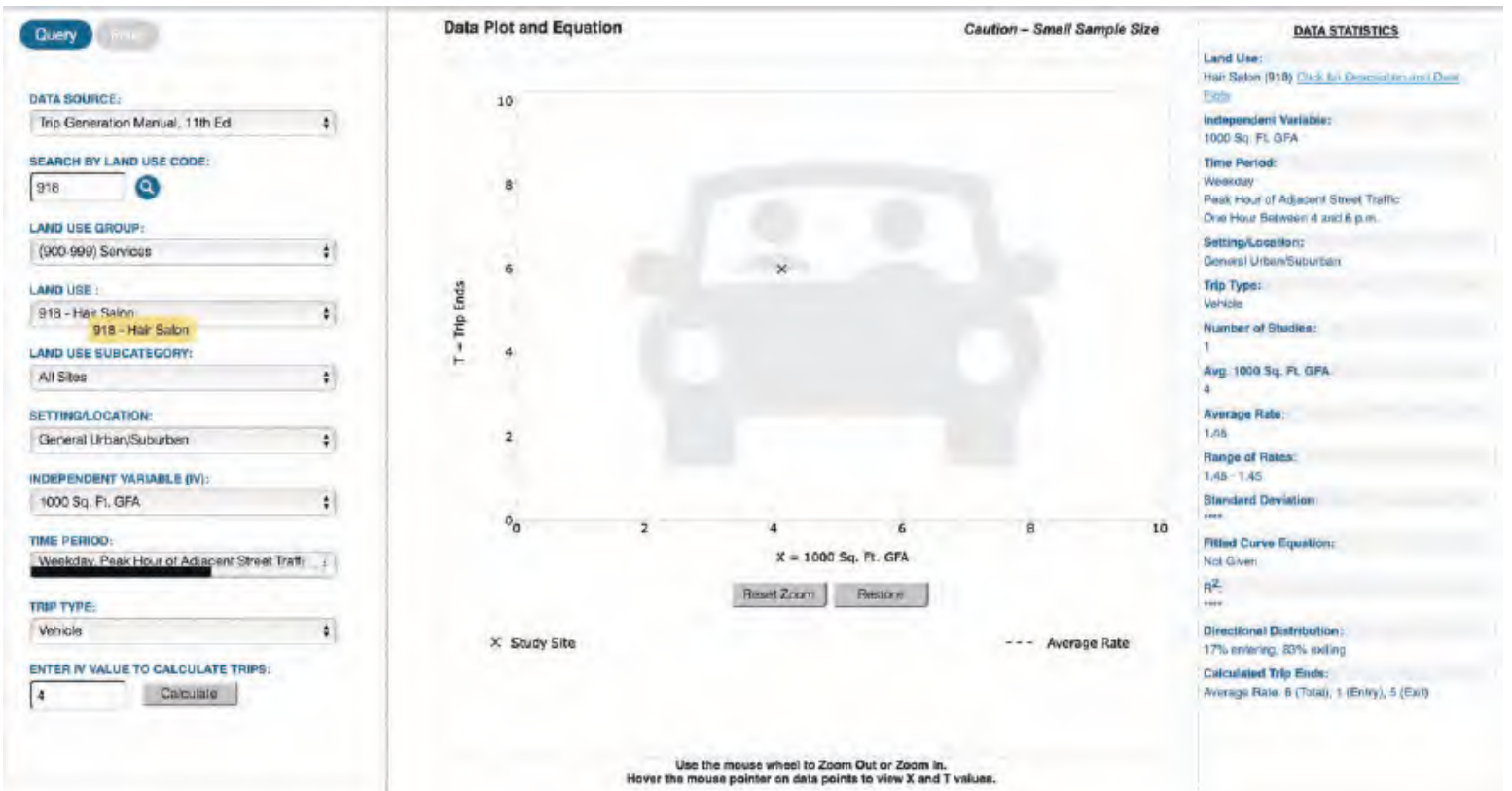
DAILY TRIPS, Hair Salon



AM PEAK HOUR TRIPS, Hair Salon



PM PEAK HOUR TRIPS, Hair Salon





















Appendix D

*Capacity Analysis Reports
Existing Conditions*

Phasings
1: SR 74 & Milam Rd

EXISTING CONDITIONS
AM PEAK HOUR

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL
Lane Configurations												
Traffic Volume (vph)	23	52	65	183	55	77	3	43	1155	173	10	102
Future Volume (vph)	23	52	65	183	55	77	3	43	1155	173	10	102
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		2%			2%				0%			
Storage Length (ft)	0		0	0		0		320		230		360
Storage Lanes	0		0	0		0		1		1		1
Taper Length (ft)	25			25				25				25
Satd. Flow (prot)	0	1709	0	0	1705	0	0	1724	3406	1509	0	1805
Flt Permitted		0.922			0.713			0.105				0.100
Satd. Flow (perm)	0	1588	0	0	1251	0	0	191	3406	1509	0	190
Right Turn on Red			Yes			Yes				Yes		
Satd. Flow (RTOR)		55			21					192		
Link Speed (mph)		35			35				55			
Link Distance (ft)		423			488				603			
Travel Time (s)		8.2			9.5				7.5			
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.88	0.88	0.88	0.88	0.88	0.88	0.90	0.90	0.90	0.90	0.87	0.87
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	0%	0%	5%	2%	13%	1%	0%	5%	6%	7%	0%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%				0%			
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	159	0	0	359	0	0	51	1283	192	0	128
Turn Type	Perm	NA		Perm	NA		custom	pm+pt	NA	Perm	custom	pm+pt
Protected Phases		4			8			5	2			1
Permitted Phases	4			8			5	2		2	1	6
Total Split (s)	28.0	28.0		28.0	28.0		9.5	9.5	41.4	41.4	10.6	10.6
Total Lost Time (s)		4.5			4.5			4.5	4.5	4.5		4.5
Act Effct Green (s)		22.7			22.7			41.2	37.3	37.3		43.6
Actuated g/C Ratio		0.29			0.29			0.53	0.48	0.48		0.56
v/c Ratio		0.31			0.94			0.25	0.78	0.23		0.55
Control Delay		16.5			61.4			10.3	21.8	2.9		19.1
Queue Delay		0.0			0.0			0.0	0.0	0.0		0.0
Total Delay		16.5			61.4			10.3	21.8	2.9		19.1
LOS		B			E			B	C	A		B
Approach Delay		16.5			61.4				19.0			
Approach LOS		B			E				B			
Queue Length 50th (ft)		39			165			10	279	0		25
Queue Length 95th (ft)		84			#321			23	367	33		61
Internal Link Dist (ft)		343			408				523			
Turn Bay Length (ft)								320		230		360
Base Capacity (vph)		523			396			201	1645	828		234
Starvation Cap Reductn		0			0			0	0	0		0
Spillback Cap Reductn		0			0			0	0	0		0
Storage Cap Reductn		0			0			0	0	0		0

Phasings
1: SR 74 & Milam Rd

EXISTING CONDITIONS
AM PEAK HOUR

Lane Group	SBT	SBR
Lane Configurations	↑↑	↑
Traffic Volume (vph)	1255	15
Future Volume (vph)	1255	15
Ideal Flow (vphpl)	1900	1900
Lane Width (ft)	12	12
Grade (%)	0%	
Storage Length (ft)		220
Storage Lanes		1
Taper Length (ft)		
Satd. Flow (prot)	3312	1509
Flt Permitted		
Satd. Flow (perm)	3312	1509
Right Turn on Red		Yes
Satd. Flow (RTOR)		82
Link Speed (mph)	55	
Link Distance (ft)	708	
Travel Time (s)	8.8	
Confl. Peds. (#/hr)		
Confl. Bikes (#/hr)		
Peak Hour Factor	0.87	0.87
Growth Factor	100%	100%
Heavy Vehicles (%)	9%	7%
Bus Blockages (#/hr)	0	0
Parking (#/hr)		
Mid-Block Traffic (%)	0%	
Shared Lane Traffic (%)		
Lane Group Flow (vph)	1443	17
Turn Type	NA	Perm
Protected Phases	6	
Permitted Phases		6
Total Split (s)	42.5	42.5
Total Lost Time (s)	4.5	4.5
Act Effct Green (s)	40.0	40.0
Actuated g/C Ratio	0.52	0.52
v/c Ratio	0.84	0.02
Control Delay	23.4	0.1
Queue Delay	0.0	0.0
Total Delay	23.4	0.1
LOS	C	A
Approach Delay	22.8	
Approach LOS	C	
Queue Length 50th (ft)	336	0
Queue Length 95th (ft)	#463	0
Internal Link Dist (ft)	628	
Turn Bay Length (ft)		220
Base Capacity (vph)	1714	820
Starvation Cap Reductn	0	0
Spillback Cap Reductn	0	0
Storage Cap Reductn	0	0

Phasings
1: SR 74 & Milam Rd

EXISTING CONDITIONS
AM PEAK HOUR

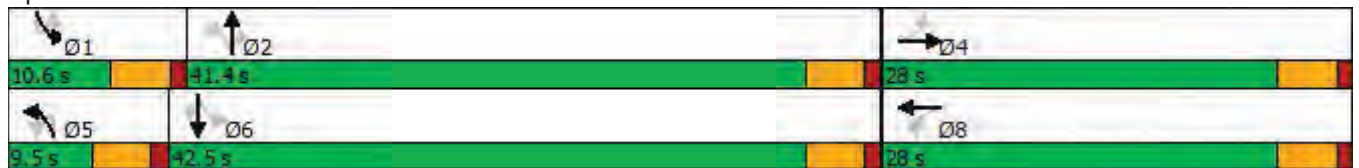


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL
Reduced v/c Ratio		0.30			0.91			0.25	0.78	0.23		0.55

Intersection Summary

Area Type:	Other
Cycle Length:	80
Actuated Cycle Length:	77.3
Control Type:	Actuated-Uncoordinated
Maximum v/c Ratio:	0.94
Intersection Signal Delay:	24.7
Intersection LOS:	C
Intersection Capacity Utilization	74.5%
ICU Level of Service	D
Analysis Period (min)	15
# 95th percentile volume exceeds capacity, queue may be longer. Queue shown is maximum after two cycles.	

Splits and Phases: 1: SR 74 & Milam Rd



Phasings
1: SR 74 & Milam Rd



















EXISTING CONDITIONS
AM PEAK HOUR



Lane Group	SBT	SBR
Reduced v/c Ratio	0.84	0.02
Intersection Summary		

Phasings
1: SR 74 & Milam Rd

EXISTING CONDITIONS
PM PEAK HOUR

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL
Lane Configurations												
Traffic Volume (vph)	36	66	61	205	59	73	14	38	1272	183	17	159
Future Volume (vph)	36	66	61	205	59	73	14	38	1272	183	17	159
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		2%			2%				0%			
Storage Length (ft)	0		0	0		0		320		230		360
Storage Lanes	0		0	0		0		1		1		1
Taper Length (ft)	25			25				25				25
Satd. Flow (prot)	0	1720	0	0	1741	0	0	1805	3471	1583	0	1795
Flt Permitted		0.861			0.640			0.102				0.097
Satd. Flow (perm)	0	1498	0	0	1148	0	0	194	3471	1583	0	183
Right Turn on Red			Yes			Yes				Yes		
Satd. Flow (RTOR)		35			16					193		
Link Speed (mph)		35			35				55			
Link Distance (ft)		423			488				603			
Travel Time (s)		8.2			9.5				7.5			
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.70	0.70	0.70	0.84	0.84	0.84	0.93	0.93	0.93	0.93	0.94	0.94
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	3%	3%	2%	1%	3%	3%	0%	0%	4%	2%	6%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%				0%			
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	232	0	0	401	0	0	56	1368	197	0	187
Turn Type	Perm	NA		Perm	NA		custom	pm+pt	NA	Perm	custom	pm+pt
Protected Phases		4			8			5	2			1
Permitted Phases	4			8			5	2		2	1	6
Total Split (s)	34.0	34.0		34.0	34.0		11.0	11.0	44.0	44.0	12.0	12.0
Total Lost Time (s)		6.0			6.0			6.0	6.0	6.0		6.0
Act Effct Green (s)		28.0			28.0			43.0	38.0	38.0		46.0
Actuated g/C Ratio		0.31			0.31			0.48	0.42	0.42		0.51
v/c Ratio		0.47			1.09			0.31	0.93	0.25		0.94
Control Delay		24.9			104.1			14.2	38.0	3.6		69.6
Queue Delay		0.0			0.0			0.0	0.0	0.0		0.0
Total Delay		24.9			104.1			14.2	38.0	3.6		69.6
LOS		C			F			B	D	A		E
Approach Delay		24.9			104.1				33.0			
Approach LOS		C			F				C			
Queue Length 50th (ft)		89			~253			14	380	1		58
Queue Length 95th (ft)		112			#389			31	#531	40		#188
Internal Link Dist (ft)		343			408				523			
Turn Bay Length (ft)								320		230		360
Base Capacity (vph)		490			368			182	1465	779		200
Starvation Cap Reductn		0			0			0	0	0		0
Spillback Cap Reductn		0			0			0	0	0		0
Storage Cap Reductn		0			0			0	0	0		0

Phasings
1: SR 74 & Milam Rd

EXISTING CONDITIONS
PM PEAK HOUR

Lane Group	SBT	SBR
Lane Configurations	↑↑	↑
Traffic Volume (vph)	1403	31
Future Volume (vph)	1403	31
Ideal Flow (vphpl)	1900	1900
Lane Width (ft)	12	12
Grade (%)	0%	
Storage Length (ft)		220
Storage Lanes		1
Taper Length (ft)		
Satd. Flow (prot)	3471	1615
Flt Permitted		
Satd. Flow (perm)	3471	1615
Right Turn on Red		Yes
Satd. Flow (RTOR)		109
Link Speed (mph)	55	
Link Distance (ft)	708	
Travel Time (s)	8.8	
Confl. Peds. (#/hr)		
Confl. Bikes (#/hr)		
Peak Hour Factor	0.94	0.94
Growth Factor	100%	100%
Heavy Vehicles (%)	4%	0%
Bus Blockages (#/hr)	0	0
Parking (#/hr)		
Mid-Block Traffic (%)	0%	
Shared Lane Traffic (%)		
Lane Group Flow (vph)	1493	33
Turn Type	NA	Perm
Protected Phases	6	
Permitted Phases		6
Total Split (s)	45.0	45.0
Total Lost Time (s)	6.0	6.0
Act Effct Green (s)	41.2	41.2
Actuated g/C Ratio	0.46	0.46
v/c Ratio	0.94	0.04
Control Delay	37.4	0.1
Queue Delay	0.0	0.0
Total Delay	37.4	0.1
LOS	D	A
Approach Delay	40.2	
Approach LOS	D	
Queue Length 50th (ft)	431	0
Queue Length 95th (ft)	#600	0
Internal Link Dist (ft)	628	
Turn Bay Length (ft)		220
Base Capacity (vph)	1589	798
Starvation Cap Reductn	0	0
Spillback Cap Reductn	0	0
Storage Cap Reductn	0	0

Phasings
1: SR 74 & Milam Rd

EXISTING CONDITIONS
PM PEAK HOUR

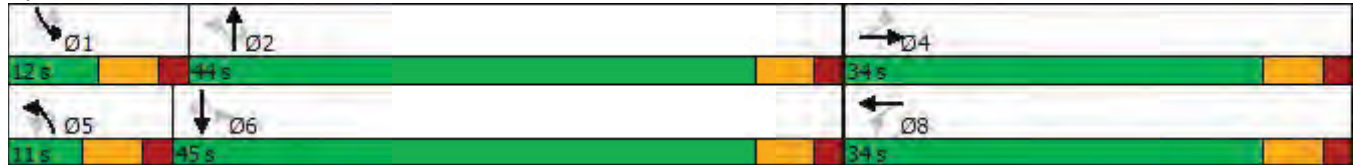


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL
Reduced v/c Ratio		0.47			1.09			0.31	0.93	0.25		0.94

Intersection Summary

Area Type:	Other
Cycle Length:	90
Actuated Cycle Length:	90
Control Type:	Semi Act-Uncoord
Maximum v/c Ratio:	1.09
Intersection Signal Delay:	42.8
Intersection LOS:	D
Intersection Capacity Utilization	93.0%
ICU Level of Service	F
Analysis Period (min)	15
~ Volume exceeds capacity, queue is theoretically infinite. Queue shown is maximum after two cycles.	
# 95th percentile volume exceeds capacity, queue may be longer. Queue shown is maximum after two cycles.	

Splits and Phases: 1: SR 74 & Milam Rd



Phasings
1: SR 74 & Milam Rd

EXISTING CONDITIONS
PM PEAK HOUR



Lane Group	SBT	SBR
Reduced v/c Ratio	0.94	0.04
Intersection Summary		

Intersection												
Int Delay, s/veh	0.6											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕	↕		↕	↕		↕		↕	↕	
Traffic Vol, veh/h	3	310	8	7	326	22	5	1	9	7	0	0
Future Vol, veh/h	3	310	8	7	326	22	5	1	9	7	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	230	-	-	120	-	-	-	100	-	-
Veh in Median Storage, #	0	-	-	0	-	-	0	-	-	0	-	-
Grade, %	-	-1	-	-	2	-	-	-2	-	-	0	-
Peak Hour Factor	84	84	84	83	83	83	68	68	68	92	92	92
Heavy Vehicles, %	0	4	0	0	0	3	0	0	0	0	0	0
Mvmt Flow	4	369	10	8	393	27	7	1	13	8	0	0

Major/Minor	Major1	Major2	Minor1	Minor2
Conflicting Flow All	420	0	0	379
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Critical Hdwy	4.1	-	-	4.1
Critical Hdwy Stg 1	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-
Follow-up Hdwy	2.2	-	-	2.2
Pot Cap-1 Maneuver	150	-	-	1191
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	150	-	-	1191
Mov Cap-2 Maneuver	-	-	-	-
Stage 1	-	-	-	-
Stage 2	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0.1	0.2	12.8	17.5
HCM LOS			B	C

Minor Lane/Major Mvm	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1	SBLn2
Capacity (veh/h)	484	1150	-	-	1191	-	-	296	-
HCM Lane V/C Ratio	0.046	0.003	-	-	-0.007	-	-	-0.026	-
HCM Control Delay (s)	12.8	8.1	0	-	8	0	-	17.5	0
HCM Lane LOS	B	A	A	-	A	A	-	C	A
HCM 95th %tile Q(veh)	0.1	0	-	-	0	-	-	0.1	-

Intersection

Int Delay, s/veh 4.8

Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	↔		↔	↑	↑	↔
Traffic Vol, veh/h	1	10	17	11	0	0
Future Vol, veh/h	1	10	17	11	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	100	-	-	-
Veh in Median Storage#	-	-	0	0	-	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	52	52	25	25
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	1	11	33	21	0	0

Major/Minor	Minor2	Major1	Major2
Conflicting Flow All	91	4	4
Stage 1	4	-	-
Stage 2	87	-	-
Critical Hdwy	6.4	6.2	4.1
Critical Hdwy Stg 1	5.4	-	-
Critical Hdwy Stg 2	5.4	-	-
Follow-up Hdwy	3.5	3.3	2.2
Pot Cap-1 Maneuve#14	1085	1631	-
Stage 1	1024	-	-
Stage 2	941	-	-
Platoon blocked, %			-
Mov Cap-1 Maneuve#96	1085	1631	-
Mov Cap-2 Maneuve#96		-	-
Stage 1	1004	-	-
Stage 2	941	-	-

Approach	EB	NB	SB
HCM Control Delay, s	4.4	4.4	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBTEBLn1	SBT	SBR
Capacity (veh/h)	1631	-	1065	-
HCM Lane V/C Ratio	0.02	-	0.011	-
HCM Control Delay (s)	7.3	-	8.4	-
HCM Lane LOS	A	-	A	-
HCM 95th %tile Q(veh)	0.1	-	0	-

Intersection

Int Delay, s/veh 1.3

Movement EBL EBR NBL NBT SBT SBR

Lane Configurations	↔		↔	↑	↔	
Traffic Vol, veh/h	0	0	3	11	0	0
Future Vol, veh/h	0	0	3	11	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	100	-	-	-
Veh in Median Storage#	-	-	0	0	-	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	25	25	44	44	25	25
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	0	0	7	25	0	0

Major/Minor Minor2 Major1 Major2

Conflicting Flow All	43	4	4	0	-	0
Stage 1	4	-	-	-	-	-
Stage 2	39	-	-	-	-	-
Critical Hdwy	6.4	6.2	4.1	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.2	-	-	-
Pot Cap-1 Maneuve#	73	1085	1631	-	-	-
Stage 1	1024	-	-	-	-	-
Stage 2	989	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuve#	969	1085	1631	-	-	-
Mov Cap-2 Maneuve#	969	-	-	-	-	-
Stage 1	1020	-	-	-	-	-
Stage 2	989	-	-	-	-	-

Approach EB NB SB

HCM Control Delay, s 0 1.5 0
HCM LOS A

Minor Lane/Major Mvmt NBL NBTEBLn1 SBT SBR

Capacity (veh/h)	1631	-	-	-	-
HCM Lane V/C Ratio	0.004	-	-	-	-
HCM Control Delay (s)	7.2	-	0	-	-
HCM Lane LOS	A	-	A	-	-
HCM 95th %tile Q(veh)	0	-	-	-	-

Intersection

Int Delay, s/veh 2.7

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕	↕		↕	↕		↕		↕	↕	
Traffic Vol, veh/h	3	389	30	38	304	45	18	5	59	34	1	0
Future Vol, veh/h	3	389	30	38	304	45	18	5	59	34	1	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	230	-	-	120	-	-	-	100	-	-
Veh in Median Storage, #	0	-	-	0	-	-	0	-	-	0	-	-
Grade, %	-	-1	-	-	2	-	-	-2	-	-	0	-
Peak Hour Factor	81	81	81	81	81	81	86	86	86	93	93	93
Heavy Vehicles, %	33	3	0	0	3	2	0	0	0	0	0	33
Mvmt Flow	4	480	37	47	375	56	21	6	69	37	1	0

Major/Minor	Major1	Major2	Minor1	Minor2
Conflicting Flow All	431	0	0	517
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Critical Hdwy	4.43	-	-	4.1
Critical Hdwy Stg 1	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-
Follow-up Hdwy	2.497	-	-	2.2
Pot Cap-1 Maneuver	981	-	-	1059
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	981	-	-	1059
Mov Cap-2 Maneuver	-	-	-	-
Stage 1	-	-	-	-
Stage 2	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0.1	0.8	15.8	29.6
HCM LOS			C	D

Minor Lane/Major Mvm	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1	SBLn2
Capacity (veh/h)		427	981	-	-	1059	-	-	181
HCM Lane V/C Ratio		0.223	0.004	-	-	0.044	-	-	0.202
HCM Control Delay (s)		15.8	8.7	0	-	8.6	0	-	29.9
HCM Lane LOS		C	A	A	-	A	A	-	D
HCM 95th %tile Q(veh)		0.8	0	-	-	0.1	-	-	0.7

Intersection

Int Delay, s/veh 3.7

Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	↔		↔	↑	↑	
Traffic Vol, veh/h	1	23	23	30	19	0
Future Vol, veh/h	1	23	23	30	19	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	100	-	-	-
Veh in Median Storage#	-	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	93	93	78	78	79	79
Heavy Vehicles, %	0	4	4	3	0	5
Mvmt Flow	1	25	29	38	24	0

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	120	24	24	0	-	0
Stage 1	24	-	-	-	-	-
Stage 2	96	-	-	-	-	-
Critical Hdwy	6.4	6.24	4.14	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.336	2.236	-	-	-
Pot Cap-1 Maneuve	880	1047	1578	-	-	-
Stage 1	1004	-	-	-	-	-
Stage 2	933	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuve	864	1047	1578	-	-	-
Mov Cap-2 Maneuve	864	-	-	-	-	-
Stage 1	986	-	-	-	-	-
Stage 2	933	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	3.6	3.2	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBTEBLn1	SBT	SBR
Capacity (veh/h)	1578	-	1038	-
HCM Lane V/C Ratio	0.019	-	0.025	-
HCM Control Delay (s)	7.3	-	8.6	-
HCM Lane LOS	A	-	A	-
HCM 95th %tile Q(veh)	0.1	-	0.1	-



















Intersection						
Int Delay, s/veh	3.8					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	WT		T	T	T	
Traffic Vol, veh/h	0	10	15	16	8	0
Future Vol, veh/h	0	10	15	16	8	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	- None		- None		- None	
Storage Length	0	-	100	-	-	-
Veh in Median Storage#	-	-	0	0	-	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	83	83	86	86	67	67
Heavy Vehicles, %	0	10	0	6	0	0
Mvmt Flow	0	12	17	19	12	0
Major/Minor	Minor2	Major1		Major2		
Conflicting Flow All	65	12	12	0	-	0
Stage 1	12	-	-	-	-	-
Stage 2	53	-	-	-	-	-
Critical Hdwy	6.4	6.3	4.1	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.39	2.2	-	-	-
Pot Cap-1 Maneuve	946	1046	1620	-	-	-
Stage 1	1016	-	-	-	-	-
Stage 2	975	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuve	937	1046	1620	-	-	-
Mov Cap-2 Maneuve	937	-	-	-	-	-
Stage 1	1006	-	-	-	-	-
Stage 2	975	-	-	-	-	-
Approach	EB	NB	SB			
HCM Control Delay, s	5.5	3.5	0			
HCM LOS	A					
Minor Lane/Major Mvmt	NBL	NBTEBLn1	SBT	SBR		
Capacity (veh/h)	1620	-	1046	-		
HCM Lane V/C Ratio	0.011	-	0.012	-		
HCM Control Delay (s)	7.2	-	8.5	-		
HCM Lane LOS	A	-	A	-		
HCM 95th %tile Q(veh)	0	-	0	-		

Appendix E

*Capacity Analysis Reports
Projected Conditions*

Phasings
1: SR 74 & Milam Rd

PROJECTED CONDITIONS
AM PEAK HOUR

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL
Lane Configurations												
Traffic Volume (vph)	23	56	65	244	60	128	3	43	1155	220	10	142
Future Volume (vph)	23	56	65	244	60	128	3	43	1155	220	10	142
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		2%			2%				0%			
Storage Length (ft)	0		0	0		0		320		230		360
Storage Lanes	0		0	0		0		1		1		1
Taper Length (ft)	25			25				25				25
Satd. Flow (prot)	0	1713	0	0	1702	0	0	1724	3406	1509	0	1805
Flt Permitted		0.906			0.714			0.092				0.085
Satd. Flow (perm)	0	1565	0	0	1249	0	0	167	3406	1509	0	162
Right Turn on Red			Yes			Yes				Yes		
Satd. Flow (RTOR)		47			24					231		
Link Speed (mph)		35			35				55			
Link Distance (ft)		423			488				603			
Travel Time (s)		8.2			9.5				7.5			
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.88	0.88	0.88	0.90	0.88	0.88	0.90	0.90	0.90	0.90	0.87	0.87
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	0%	0%	5%	2%	13%	1%	0%	5%	6%	7%	0%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%				0%			
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	164	0	0	484	0	0	51	1283	244	0	174
Turn Type	Perm	NA		Perm	NA		custom	pm+pt	NA	Perm	custom	pm+pt
Protected Phases		4			8			5	2			1
Permitted Phases	4			8			5	2		2	1	6
Total Split (s)	41.0	41.0		41.0	41.0		9.6	9.6	47.0	47.0	12.0	12.0
Total Lost Time (s)		4.5			4.5			4.5	4.5	4.5		4.5
Act Effct Green (s)		36.5			36.5			47.6	42.5	42.5		52.8
Actuated g/C Ratio		0.36			0.36			0.48	0.42	0.42		0.53
v/c Ratio		0.27			1.03			0.32	0.89	0.32		0.83
Control Delay		17.2			80.2			16.7	35.6	4.1		51.8
Queue Delay		0.0			0.0			0.0	0.0	0.0		0.0
Total Delay		17.2			80.2			16.7	35.6	4.1		51.8
LOS		B			F			B	D	A		D
Approach Delay		17.2			80.2				30.1			
Approach LOS		B			F				C			
Queue Length 50th (ft)		51			~321			14	387	5		60
Queue Length 95th (ft)		97			#502			32	#504	50		#164
Internal Link Dist (ft)		343			408				523			
Turn Bay Length (ft)								320		230		360
Base Capacity (vph)		601			471			158	1447	774		209
Starvation Cap Reductn		0			0			0	0	0		0
Spillback Cap Reductn		0			0			0	0	0		0
Storage Cap Reductn		0			0			0	0	0		0

Phasings
1: SR 74 & Milam Rd

PROJECTED CONDITIONS
AM PEAK HOUR

Lane Group	SBT	SBR
Lane Configurations	↑↑	↑
Traffic Volume (vph)	1255	15
Future Volume (vph)	1255	15
Ideal Flow (vphpl)	1900	1900
Lane Width (ft)	12	12
Grade (%)	0%	
Storage Length (ft)		220
Storage Lanes		1
Taper Length (ft)		
Satd. Flow (prot)	3312	1509
Flt Permitted		
Satd. Flow (perm)	3312	1509
Right Turn on Red		Yes
Satd. Flow (RTOR)		65
Link Speed (mph)	55	
Link Distance (ft)	708	
Travel Time (s)	8.8	
Confl. Peds. (#/hr)		
Confl. Bikes (#/hr)		
Peak Hour Factor	0.87	0.87
Growth Factor	100%	100%
Heavy Vehicles (%)	9%	7%
Bus Blockages (#/hr)	0	0
Parking (#/hr)		
Mid-Block Traffic (%)	0%	
Shared Lane Traffic (%)		
Lane Group Flow (vph)	1443	17
Turn Type	NA	Perm
Protected Phases	6	
Permitted Phases		6
Total Split (s)	49.4	49.4
Total Lost Time (s)	4.5	4.5
Act Effct Green (s)	46.8	46.8
Actuated g/C Ratio	0.47	0.47
v/c Ratio	0.93	0.02
Control Delay	38.0	0.1
Queue Delay	0.0	0.0
Total Delay	38.0	0.1
LOS	D	A
Approach Delay	39.1	
Approach LOS	D	
Queue Length 50th (ft)	458	0
Queue Length 95th (ft)	#588	0
Internal Link Dist (ft)	628	
Turn Bay Length (ft)		220
Base Capacity (vph)	1551	741
Starvation Cap Reductn	0	0
Spillback Cap Reductn	0	0
Storage Cap Reductn	0	0

Phasings
1: SR 74 & Milam Rd

PROJECTED CONDITIONS
AM PEAK HOUR

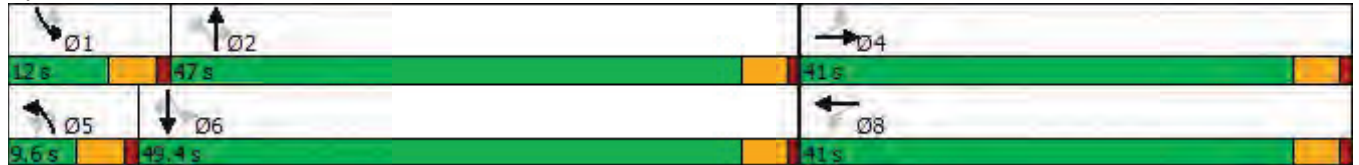


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL
Reduced v/c Ratio		0.27			1.03			0.32	0.89	0.32		0.83

Intersection Summary



















Area Type:	Other
Cycle Length:	100
Actuated Cycle Length:	100
Control Type:	Actuated-Uncoordinated
Maximum v/c Ratio:	1.03
Intersection Signal Delay:	39.6
Intersection LOS:	D
Intersection Capacity Utilization	88.0%
ICU Level of Service	E
Analysis Period (min)	15
~ Volume exceeds capacity, queue is theoretically infinite. Queue shown is maximum after two cycles.	
# 95th percentile volume exceeds capacity, queue may be longer. Queue shown is maximum after two cycles.	

Splits and Phases: 1: SR 74 & Milam Rd



Phasings
1: SR 74 & Milam Rd

PROJECTED CONDITIONS
PM PEAK HOUR

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL
Lane Configurations												
Traffic Volume (vph)	36	70	61	256	63	116	14	38	1272	232	17	200
Future Volume (vph)	36	70	61	256	63	116	14	38	1272	232	17	200
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		2%			2%			0%				
Storage Length (ft)	0		0	0		0		320		230		360
Storage Lanes	0		0	0		0		1		1		1
Taper Length (ft)	25			25				25				25
Satd. Flow (prot)	0	1724	0	0	1729	0	0	1805	3471	1583	0	1797
Flt Permitted		0.856			0.641			0.102				0.097
Satd. Flow (perm)	0	1492	0	0	1142	0	0	194	3471	1583	0	183
Right Turn on Red			Yes			Yes				Yes		
Satd. Flow (RTOR)		33			21					244		
Link Speed (mph)		35			35				55			
Link Distance (ft)		423			488				603			
Travel Time (s)		8.2			9.5				7.5			
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.70	0.70	0.70	0.84	0.84	0.84	0.93	0.93	0.93	0.93	0.94	0.94
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	3%	3%	2%	1%	3%	3%	0%	0%	4%	2%	6%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%				0%			
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	238	0	0	518	0	0	56	1368	249	0	231
Turn Type	Perm	NA		Perm	NA		custom	pm+pt	NA	Perm	custom	pm+pt
Protected Phases		4			8			5	2			1
Permitted Phases	4			8			5	2		2	1	6
Total Split (s)	34.0	34.0		34.0	34.0		11.0	11.0	44.0	44.0	12.0	12.0
Total Lost Time (s)		6.0			6.0			6.0	6.0	6.0		6.0
Act Effct Green (s)		28.0			28.0			43.0	38.0	38.0		46.0
Actuated g/C Ratio		0.31			0.31			0.48	0.42	0.42		0.51
v/c Ratio		0.49			1.40			0.31	0.93	0.31		1.15
Control Delay		25.6			224.6			14.2	38.0	3.5		132.0
Queue Delay		0.0			0.0			0.0	0.0	0.0		0.0
Total Delay		25.6			224.6			14.2	38.0	3.5		132.0
LOS		C			F			B	D	A		F
Approach Delay		25.6			224.6				32.1			
Approach LOS		C			F				C			
Queue Length 50th (ft)		93			~393			14	380	2		~108
Queue Length 95th (ft)		116			#535			31	#531	45		#254
Internal Link Dist (ft)		343			408				523			
Turn Bay Length (ft)								320		230		360
Base Capacity (vph)		486			369			182	1465	809		201
Starvation Cap Reductn		0			0			0	0	0		0
Spillback Cap Reductn		0			0			0	0	0		0
Storage Cap Reductn		0			0			0	0	0		0

Phasings
1: SR 74 & Milam Rd

PROJECTED CONDITIONS
PM PEAK HOUR

Lane Group	SBT	SBR
Lane Configurations	↑↑	↑
Traffic Volume (vph)	1403	31
Future Volume (vph)	1403	31
Ideal Flow (vphpl)	1900	1900
Lane Width (ft)	12	12
Grade (%)	0%	
Storage Length (ft)		220
Storage Lanes		1
Taper Length (ft)		
Satd. Flow (prot)	3471	1615
Flt Permitted		
Satd. Flow (perm)	3471	1615
Right Turn on Red		Yes
Satd. Flow (RTOR)		109
Link Speed (mph)	55	
Link Distance (ft)	708	
Travel Time (s)	8.8	
Confl. Peds. (#/hr)		
Confl. Bikes (#/hr)		
Peak Hour Factor	0.94	0.94
Growth Factor	100%	100%
Heavy Vehicles (%)	4%	0%
Bus Blockages (#/hr)	0	0
Parking (#/hr)		
Mid-Block Traffic (%)	0%	
Shared Lane Traffic (%)		
Lane Group Flow (vph)	1493	33
Turn Type	NA	Perm
Protected Phases	6	
Permitted Phases		6
Total Split (s)	45.0	45.0
Total Lost Time (s)	6.0	6.0
Act Effct Green (s)	41.2	41.2
Actuated g/C Ratio	0.46	0.46
v/c Ratio	0.94	0.04
Control Delay	37.4	0.1
Queue Delay	0.0	0.0
Total Delay	37.4	0.1
LOS	D	A
Approach Delay	49.1	
Approach LOS	D	
Queue Length 50th (ft)	431	0
Queue Length 95th (ft)	#600	0
Internal Link Dist (ft)	628	
Turn Bay Length (ft)		220
Base Capacity (vph)	1589	798
Starvation Cap Reductn	0	0
Spillback Cap Reductn	0	0
Storage Cap Reductn	0	0

Phasings
1: SR 74 & Milam Rd

PROJECTED CONDITIONS
PM PEAK HOUR

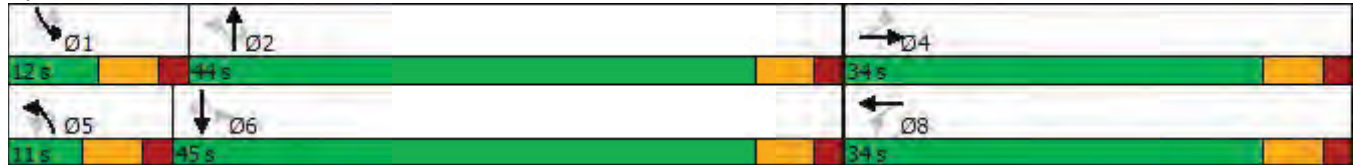


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL
Reduced v/c Ratio		0.49			1.40			0.31	0.93	0.31		1.15

Intersection Summary

Area Type:	Other
Cycle Length:	90
Actuated Cycle Length:	90
Control Type:	Semi Act-Uncoord
Maximum v/c Ratio:	1.40
Intersection Signal Delay:	62.7
Intersection LOS:	E
Intersection Capacity Utilization	101.2%
ICU Level of Service	G
Analysis Period (min)	15
~ Volume exceeds capacity, queue is theoretically infinite. Queue shown is maximum after two cycles.	
# 95th percentile volume exceeds capacity, queue may be longer. Queue shown is maximum after two cycles.	

Splits and Phases: 1: SR 74 & Milam Rd



Intersection

Int Delay, s/veh 3.2

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕	↕		↕	↕		↕		↕	↕	
Traffic Vol, veh/h	94	310	8	7	326	32	5	2	9	20	1	117
Future Vol, veh/h	94	310	8	7	326	32	5	2	9	20	1	117
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	230	-	-	120	-	-	-	100	-	-
Veh in Median Storage, #	0	-	-	0	-	-	-	0	-	-	0	-
Grade, %	-	-1	-	-	2	-	-	-2	-	-	0	-
Peak Hour Factor	84	84	84	83	83	83	68	68	68	92	92	92
Heavy Vehicles, %	0	4	0	0	0	3	0	0	0	0	0	0
Mvmt Flow	112	369	10	8	393	39	7	3	13	22	1	127

Major/Minor	Major1	Major2	Minor1	Minor2
Conflicting Flow All	432	0	0	379
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Critical Hdwy	4.1	-	-	4.1
Critical Hdwy Stg 1	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-
Follow-up Hdwy	2.2	-	-	2.2
Pot Cap-1 Maneuver	138	-	-	1191
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	138	-	-	1191
Mov Cap-2 Maneuver	-	-	-	-
Stage 1	-	-	-	-
Stage 2	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	9	0.2	18	14
HCM LOS			C	B

Minor Lane/Major Mvm	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1	SBLn2
Capacity (veh/h)		301	1138	-	-	1191	-	-	191
HCM Lane V/C Ratio		0.078	0.098	-	-	0.007	-	-	0.198
HCM Control Delay (s)		18	8.5	0	-	8	0	-	26.3
HCM Lane LOS		C	A	A	-	A	A	-	D
HCM 95th %tile Q(veh)		0.3	0.3	-	-	0	-	-	0.4

Intersection						
Int Delay, s/veh	2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	WT		WT	↑	↑	↑
Traffic Vol, veh/h	1	11	18	62	65	0
Future Vol, veh/h	1	11	18	62	65	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	- None		- None		- None	
Storage Length	0	-	100	-	-	-
Veh in Median Storage#	-	-	0	0	-	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	52	90	90	25
Heavy Vehicles, %	0	0	0	2	2	0
Mvmt Flow	1	12	35	69	72	0

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	211	72	72	0	-	0
Stage 1	72	-	-	-	-	-
Stage 2	139	-	-	-	-	-
Critical Hdwy	6.4	6.2	4.1	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.2	-	-	-
Pot Cap-1 Maneuver	782	996	1541	-	-	-
Stage 1	956	-	-	-	-	-
Stage 2	893	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	764	996	1541	-	-	-
Mov Cap-2 Maneuver	764	-	-	-	-	-
Stage 1	934	-	-	-	-	-
Stage 2	893	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	8.8	2.5	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBTEBLn1	SBT	SBR
Capacity (veh/h)	1541	-	971	-
HCM Lane V/C Ratio	0.022	-	0.013	-
HCM Control Delay (s)	7.4	-	8.8	-
HCM Lane LOS	A	-	A	-
HCM 95th %tile Q(veh)	0.1	-	0	-

Intersection

Int Delay, s/veh 4.4

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕		↕	↕		↕	↕	
Traffic Vol, veh/h	0	0	0	65	0	0	3	11	51	0	0	0
Future Vol, veh/h	0	0	0	65	0	0	3	11	51	0	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	100	-	-	100	-	-
Veh in Median Storage,-#	0	-	-	0	-	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	25	92	25	90	92	92	44	44	90	92	25	25
Heavy Vehicles, %	0	2	0	2	2	2	0	0	2	2	0	0
Mvmt Flow	0	0	0	72	0	0	7	25	57	0	0	0

Major/Minor	Minor2		Minor1			Major1			Major2			
Conflicting Flow All	72	100	4	72	72	54	4	0	0	82	0	0
Stage 1	4	4	-	68	68	-	-	-	-	-	-	-
Stage 2	68	96	-	4	4	-	-	-	-	-	-	-
Critical Hdwy	7.1	6.52	6.2	7.12	6.52	6.22	4.1	-	-	4.12	-	-
Critical Hdwy Stg 1	6.1	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.1	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.5	4.018	3.3	3.518	4.018	3.318	2.2	-	-	2.218	-	-
Pot Cap-1 Maneuve	924	790	1085	919	818	1013	1631	-	-	1515	-	-
Stage 1	1024	892	-	942	838	-	-	-	-	-	-	-
Stage 2	947	815	-	1018	892	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuve	921	787	1085	916	815	1013	1631	-	-	1515	-	-
Mov Cap-2 Maneuve	921	787	-	916	815	-	-	-	-	-	-	-
Stage 1	1020	892	-	938	835	-	-	-	-	-	-	-
Stage 2	943	812	-	1018	892	-	-	-	-	-	-	-

Approach	EB		WB			NB			SB		
HCM Control Delay, s	0		9.3			0.6			0		
HCM LOS	A		A								

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1631	-	-	-	916	1515	-	-
HCM Lane V/C Ratio	0.004	-	-	-	0.079	-	-	-
HCM Control Delay (s)	7.2	-	-	0	9.3	0	-	-
HCM Lane LOS	A	-	-	A	A	A	-	-
HCM 95th %tile Q(veh)	0	-	-	-	0.3	0	-	-

Intersection

Int Delay, s/veh 2.4

Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	65	1	79	61	1	75
Future Vol, veh/h	65	1	79	61	1	75
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	100	-
Veh in Median Storage#	-	0	-	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	90	90	90	90	90	90
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	72	1	88	68	1	83

Major/Minor	Minor1	Major1	Major2
Conflicting Flow All	207	122	0
Stage 1	122	-	-
Stage 2	85	-	-
Critical Hdwy	6.42	6.22	-
Critical Hdwy Stg 1	5.42	-	-
Critical Hdwy Stg 2	5.42	-	-
Follow-up Hdwy	3.518	3.318	-
Pot Cap-1 Maneuver	781	929	-
Stage 1	903	-	-
Stage 2	938	-	-
Platoon blocked, %			
Mov Cap-1 Maneuver	780	929	-
Mov Cap-2 Maneuver	780	-	-
Stage 1	903	-	-
Stage 2	937	-	-

Approach	WB	NB	SB
HCM Control Delay, s	10.1	0	0.1
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBR	SBL	SBT
Capacity (veh/h)	-	-	782	1424
HCM Lane V/C Ratio	-	-	0.094	0.001
HCM Control Delay (s)	-	-	10.1	7.5
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0.3	0

Intersection

Int Delay, s/veh 2.7

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕	↕		↕	↕		↕		↕	↕	
Traffic Vol, veh/h	3	389	30	38	304	45	18	5	59	34	1	0
Future Vol, veh/h	3	389	30	38	304	45	18	5	59	34	1	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	230	-	-	120	-	-	-	100	-	-
Veh in Median Storage, #	0	-	-	0	-	-	0	-	-	0	-	-
Grade, %	-	-1	-	-	2	-	-	-2	-	-	0	-
Peak Hour Factor	81	81	81	81	81	81	86	86	86	93	93	93
Heavy Vehicles, %	33	3	0	0	3	2	0	0	0	0	0	33
Mvmt Flow	4	480	37	47	375	56	21	6	69	37	1	0

Major/Minor	Major1	Major2	Minor1	Minor2
Conflicting Flow All	431	0	0	517
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Critical Hdwy	4.43	-	-	4.1
Critical Hdwy Stg 1	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-
Follow-up Hdwy	2.497	-	-	2.2
Pot Cap-1 Maneuver	981	-	-	1059
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	981	-	-	1059
Mov Cap-2 Maneuver	-	-	-	-
Stage 1	-	-	-	-
Stage 2	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0.1	0.8	15.8	29.6
HCM LOS			C	D

Minor Lane/Major Mvm	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1	SBLn2
Capacity (veh/h)	427	981	-	-	1059	-	-	181	231
HCM Lane V/C Ratio	0.223	0.004	-	-	0.044	-	-	0.202	0.005
HCM Control Delay (s)	15.8	8.7	0	-	8.6	0	-	29.9	20.7
HCM Lane LOS	C	A	A	-	A	A	-	D	C
HCM 95th %tile Q(veh)	0.8	0	-	-	0.1	-	-	0.7	0

Intersection						
Int Delay, s/veh	2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	WT		WT	↑	↑	↑
Traffic Vol, veh/h	1	24	24	83	73	0
Future Vol, veh/h	1	24	24	83	73	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	- None		- None		- None	
Storage Length	0	-	100	-	-	-
Veh in Median Storage#	-	-	0	0	-	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	93	93	78	90	90	79
Heavy Vehicles, %	0	4	4	3	2	5
Mvmt Flow	1	26	31	92	81	0

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	235	81	81	0	-	0
Stage 1	81	-	-	-	-	-
Stage 2	154	-	-	-	-	-
Critical Hdwy	6.4	6.24	4.14	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.336	2.236	-	-	-
Pot Cap-1 Maneuver	758	973	1504	-	-	-
Stage 1	947	-	-	-	-	-
Stage 2	879	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	742	973	1504	-	-	-
Mov Cap-2 Maneuver	742	-	-	-	-	-
Stage 1	927	-	-	-	-	-
Stage 2	879	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	8.9	1.9	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBTEBLn1	SBT	SBR
Capacity (veh/h)	1504	-	961	-
HCM Lane V/C Ratio	0.02	-	0.028	-
HCM Control Delay (s)	7.4	-	8.9	-
HCM Lane LOS	A	-	A	-
HCM 95th %tile Q(veh)	0.1	-	0.1	-

Intersection

Int Delay, s/veh 4.6

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕		↕	↕		↕	↕	
Traffic Vol, veh/h	0	0	10	55	0	0	15	16	51	0	8	0
Future Vol, veh/h	0	0	10	55	0	0	15	16	51	0	8	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	100	-	-	100	-	-
Veh in Median Storage,-#	0	-	-	0	-	-	0	-	-	0	-	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	83	92	83	90	92	92	86	86	90	92	67	67
Heavy Vehicles, %	0	2	10	2	2	2	0	6	2	2	0	0
Mvmt Flow	0	0	12	61	0	0	17	19	57	0	12	0

Major/Minor	Minor2		Minor1			Major1			Major2			
Conflicting Flow All	94	122	12	100	94	48	12	0	0	76	0	0
Stage 1	12	12	-	82	82	-	-	-	-	-	-	-
Stage 2	82	110	-	18	12	-	-	-	-	-	-	-
Critical Hdwy	7.1	6.52	6.3	7.12	6.52	6.22	4.1	-	-	4.12	-	-
Critical Hdwy Stg 1	6.1	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.1	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.5	4.018	3.39	3.518	4.018	3.318	2.2	-	-	2.218	-	-
Pot Cap-1 Maneuve	894	768	1046	881	796	1021	1620	-	-	1523	-	-
Stage 1	1014	886	-	926	827	-	-	-	-	-	-	-
Stage 2	931	804	-	1001	886	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuve	887	760	1046	864	788	1021	1620	-	-	1523	-	-
Mov Cap-2 Maneuve	887	760	-	864	788	-	-	-	-	-	-	-
Stage 1	1004	886	-	917	819	-	-	-	-	-	-	-
Stage 2	921	796	-	989	886	-	-	-	-	-	-	-

Approach	EB		WB			NB			SB		
HCM Control Delay, s	5		9.5			1.4			0		
HCM LOS	A		A								

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1620	-	-	1046	864	1523	-	-
HCM Lane V/C Ratio	0.011	-	-	0.012	0.071	-	-	-
HCM Control Delay (s)	7.2	-	-	8.5	9.5	0	-	-
HCM Lane LOS	A	-	-	A	A	A	-	-
HCM 95th %tile Q(veh)	0	-	-	0	0.2	0	-	-

Intersection

Int Delay, s/veh 1.9

Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	Y		P		Y	↑
Traffic Vol, veh/h	55	1	106	53	1	97
Future Vol, veh/h	55	1	106	53	1	97
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	100	-
Veh in Median Storage#	-	0	-	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	90	90	90	90	90	90
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	61	1	118	59	1	108

Major/Minor	Minor1	Major1	Major2
Conflicting Flow All	258	148	0
Stage 1	148	-	-
Stage 2	110	-	-
Critical Hdwy	6.42	6.22	-
Critical Hdwy Stg 1	5.42	-	-
Critical Hdwy Stg 2	5.42	-	-
Follow-up Hdwy	3.518	3.318	-
Pot Cap-1 Maneuver	731	899	-
Stage 1	880	-	-
Stage 2	915	-	-
Platoon blocked, %		-	-
Mov Cap-1 Maneuver	730	899	-
Mov Cap-2 Maneuver	730	-	-
Stage 1	880	-	-
Stage 2	914	-	-

Approach	WB	NB	SB
HCM Control Delay, s	10.4	0	0.1
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBR	SBL	SBT
Capacity (veh/h)	-	-	732	1399
HCM Lane V/C Ratio	-	-	0.085	0.001
HCM Control Delay (s)	-	-	10.4	7.6
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0.3	0

Appendix F

*Trip Generation Reports
Alternate Development*

DAILY TRIPS, Shopping Center

Query Filter

DATA SOURCE:

Data Plot and Equation

14,000

DATA STATISTI

Land Use:
Shopping Plaza (40-150k) - Supe
[Click for Description and Data Pl](#)

ITETripGen Web-based App

Help | vernon wilburn | Sign out

Graph Look Up

LAND USE GROUP:
(800-899) Retail

LAND USE:
821 - Shopping Plaza (40-150k)

LAND USE SUBCATEGORY:
Supermarket - Yes

SETTING/LOCATION:
General Urban/Suburban

INDEPENDENT VARIABLE (IV):
1000 Sq. Ft. GLA

TIME PERIOD:
Weekday

TRIP TYPE:
Vehicle

ENTER IV VALUE TO CALCULATE TRIPS:
90

X = 1000 Sq. Ft. GLA

T = Trip Ends

Reset Zoom | Restore

X Study Site — Fitted Curve - - - Average Rate

Use the mouse wheel to Zoom Out or Zoom In.
Hover the mouse pointer on data points to view X and T values.

Trip Type:
Vehicle

Number of Studies:
17

Avg. 1000 Sq. Ft. GLA:
81

Average Rate:
94.49

Range of Rates:
57.86 - 175.32

Standard Deviation:
26.55

Fitted Curve Equation:
 $T = 76.96(X) + 1412.79$

R²:
0.50

Directional Distribution:
50% entering, 50% exiting

Calculated Trip Ends:
Average Rate: 8504 (Total), 4252 (Exit)
Fitted Curve: 8339 (Total), 4170 (Exit)

AM PEAK HOUR TRIPS, Shopping Center

Graph Look Up



LAND USE GROUP:
 (800-899) Retail

LAND USE :
 821 - Shopping Plaza (40-150k)

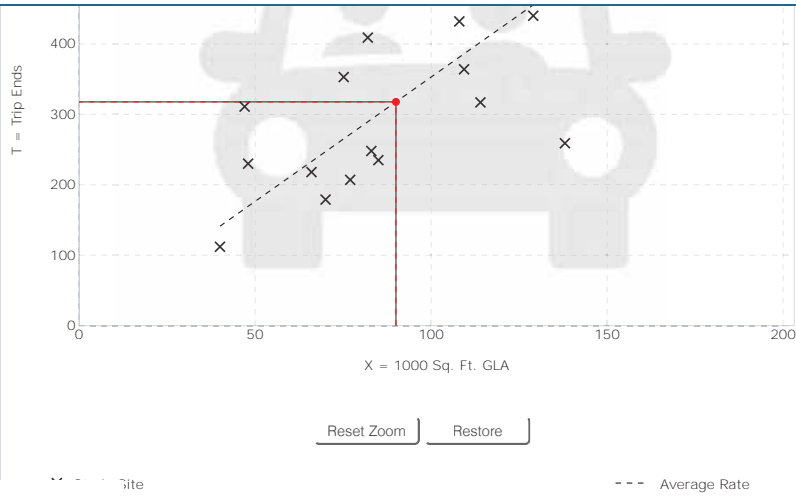
LAND USE SUBCATEGORY:
 Supermarket - Yes

SETTING/LOCATION:
 General Urban/Suburban

INDEPENDENT VARIABLE (IV):
 1000 Sq. Ft. GLA

TIME PERIOD:
 Weekday, Peak Hour of Adjacent Street Traffic

TRIP TYPE:
 Vehicle



Setting/Location:
 General Urban/Suburban

Trip Type:
 Vehicle

Number of Studies:
 16

Avg. 1000 Sq. Ft. GLA:
 86

Average Rate:
 3.53

Range of Rates:
 1.88 - 6.62

Standard Deviation:
 1.17

Fitted Curve Equation:
 Not Given

R²:

Directional Distribution:
 62% entering, 38% exiting

Calculated Trip Ends:
 Average Rate: 318 (Total), 197 (Er)

INTERESTED IN ADDING USERS?

The license agreement for the ITETripGen web app is for a single user and strictly prohibits sharing of accounts. Please visit the ITE Marketplace to purchase additional license for each additional person who desires access to ITETripGen.

>> ITE Market Place

Use the mouse wheel to Zoom Out or Zoom In.
 Hover the mouse pointer on data points to view X and T values.

PM PEAK HOUR TRIPS, Shopping Center

Graph Look Up



LAND USE GROUP:
 (800-899) Retail

LAND USE :
 821 - Shopping Plaza (40-150k)

LAND USE SUBCATEGORY:
 Supermarket - Yes

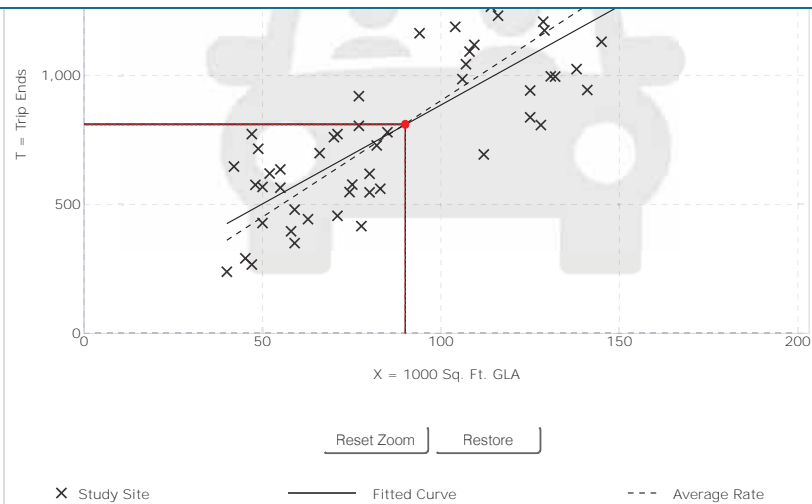
SETTING/LOCATION:
 General Urban/Suburban

INDEPENDENT VARIABLE (IV):
 1000 Sq. Ft. GLA

TIME PERIOD:
 Weekday, Peak Hour of Adjacent Street Traffic

TRIP TYPE:
 Vehicle

ENTER IV VALUE TO CALCULATE TRIPS:



Setting/Location:
 General Urban/Suburban

Trip Type:
 Vehicle

Number of Studies:
 51

Avg. 1000 Sq. Ft. GLA:
 87

Average Rate:
 9.03

Range of Rates:
 5.35 - 16.45

Standard Deviation:
 2.37

Fitted Curve Equation:
 $T = 7.67(X) + 118.86$

R²:
 0.62

Directional Distribution:
 48% entering, 52% exiting

Calculated Trip Ends:
 Average Rate: 813 (Total), 390 (Er)
 Fitted Curve: 809 (Total), 388 (Er)

Use the mouse wheel to Zoom Out or Zoom In.
 Hover the mouse pointer on data points to view X and T values.

TRAFFIC IMPACT ANALYSIS

Fairburn Apartments

Fulton County, GA

Prepared By

Maldino and Wilburn, LLC

Traffic Consultants





NEW BUSINESS

1. Project Name: Bohannon Data Center - Rezoning, Use Permit, and Comprehensive Land Use Amendment (CLUP)

Property Owner Name	Address	Tax Parcel
Richard L Benton	8125 Bohannon Drive	09F010000110654
Catherine Benton	8145 Bohannon Road	09F010000110662
Catherine Benton	8145 Bohannon Road	09F010000110365
Brian Dickson	8155 Bohannon Drive Rear Lot	09F010000114227
Richard L Benton	8155 Bohannon Drive	09F010000110100
Jonathan William Glisson	8156 Bohannon Drive	09F010000110571
Guy W Lassiter & Phyllis M Lassiter	8355 Bohannon Road	09F010000110266
Aaron Matthew Shinstine	8365 Bohannon Road	09F010000110647
Abigail Shinstine (Bottlerocket Enterprises, LLC)	9301 Bohannon Road	09F010000110563
Edward Shinstine	8385 Bohannon Drive	09F010000110548

- Summary: The applicant requests approval to rezone the parcels from AG-1 to M-1. The application also includes a use permit to allow Data Centers and a request to change the Comprehensive Plan land use (CLUP) designations from– Rural Residential and Greenspace to Office – Industrial.



REZONING APPLICATION



APPLICANT'S CHECKLIST

DOCUMENTS AND QUANTITIES REQUIRED

**ALL PERTINENT ITEMS ARE DUE AT THE TIME OF FILING.
NO INCOMPLETE APPLICATION WILL BE ACCEPTED.**

Applications will not be accepted after 3:00 p.m.

ITEM #	REQUIRED ITEM	NUMBER OF COPIES	CHECK √
1.	Site Plan Checklist	1 original	
2.	Application Form	1 original and 5 copies	
3.	Survey	2 copies	
4.	Legal Description (8½ "x 11")	2 copies	
5.	Deed	2 copies	
6.	Letter of Intent	5 copies; plus 1 additional copy if project includes a DRI or MARTA review	
7.	Site Plan	5 copies; plus 1 additional copy if project includes a DRI or MARTA review	
8.	Disclosure Form(s)	2 copies	
9.	Public Participation Program	2 copies of the Report and Plan	
THE FOLLOWING ITEMS MAY BE REQUIRED. SEE THE FOLLOWING INFORMATION FOR DETAILS.			
10.	Impact Analysis	5 copies	
11.	Traffic Impact Study	2 copies	
12.	Development of Regional Impact (DRI)	2 copies	
13.	Noise Study Report:	2 copies	

PREAPPLICATION REVIEW MEETING: Prior to submitting an application, all are encouraged to meet with the Planning and Zoning Office who will review the applicant's proposal and site plan. No pre-application review meeting will be held on the day of the filing deadline. Applicants are required to bring the site plan and tax parcel identification number(s) to the meeting. Call 770-964-2244 to make an appointment.

REQUIRED ITEMS FOR REZONING/USE PERMIT APPLICATIONS:

- ITEM 1. **SITE PLAN CHECKLIST:** The site plan checklist details the minimum requirements for site plans as specified by Chapter 62, Article V. The Building Process.
- ITEM 2. **APPLICATION FORM:** Original and notarized signatures of the property owner(s) and applicant(s) or a notarized statement by the applicant as to ownership are required. If a contract is used in lieu of the owner's signature, the signature on the contract must be an original and the contract must be valid for the duration of the rezoning process. See the application form for additional details.
- ITEM 3. **SURVEY:** An accurate, to scale, up-to-date certified survey of the property shown with metes and bounds must be submitted with the Rezoning Application. The survey should include existing thoroughfares; existing drainage areas; existing buildings, structures and facilities; existing utilities on or adjacent to the property; and ownership, zoning and uses of all property adjacent to or within 200 feet of the property.

- ITEM 4. **LEGAL DESCRIPTION:** The legal description must be a *metes and bounds* description of the property that establishes a point of beginning and gives directions (bounds) and distances (metes) of property lines. If the property consists of more than one parcel, all parcels must be combined into one legal description.
- ITEM 5. **DEED:** A copy of the deed which matches the applicant's name or a copy of the letter indicating a closing and the recordation of a new deed.
- ITEM 6. **LETTER OF INTENT:** The Letter of Intent should state the requested rezoning and use permit(s) and should include factual details about the proposed use(s), such as number and square footages of buildings, number of residential units, minimum heated floor area of residential units, number of fixed seats in places of worship, number of employees and beds in assisted living facilities, personal care homes and nursing homes, number of employees and students in day care facilities, number of classrooms and number of students in schools, hours of operation, and number and use of playing fields. If a rezoning request is for a PD (Planned Development) district, the Letter of Intent should detail the proposed development standards.
- ITEM 7. **SITE PLAN:** Site plans must meet the minimum requirements specified by Chapter 62, Article V. The Building Process of the City of Fairburn Ordinance. Refer to Site Plan Checklist.
- ITEM 8. **DISCLOSURE FORM:** If the owner, applicant and/or applicant's representative has made a campaign contribution to any member of City Council for \$250.00 or more within the past 2 years, Sections 1 through 4 of the Disclosure Form must be completed. If no contributions have been made, *No* should be circled and Section 4 of the form completed.
- ITEM 9: **PUBLIC PARTICIPATION PROGRAM:** Public Participation Program consists of a two-part process designed to enhance dialogue between applicants and communities which may be impacted by a proposed development, Part 1: The Public Participation Plan and Part 2: The Public Participation Report.

OTHER DOCUMENTS THAT MAY BE REQUIRED:

- ITEM 10. **IMPACT ANALYSIS:** The application must include an Impact Analysis.
- ITEM 11. **TRAFFIC IMPACT STUDY:** When a project equals or exceeds the thresholds listed below, a traffic impact study must be submitted. The traffic impact study shall be prepared by a qualified traffic engineer or transportation planner in accordance with professional practices and the guidelines available in the Department of Public Works.

Thresholds for Traffic Impact Study	
Use	Size
Single family residential	500 new lots
Multifamily residential	700 new units
Office	300,000 square feet
Hospital	375 beds
Commercial	175,000 square feet
Hotel/Motel	600 rooms
Industrial	500,000 square feet
Any planned developments that exceeds 500 peak hour trips as based on the standards of the Institute of Transportation Engineers (ITE) Handbook.	

- ITEM 12. **DEVELOPMENT OF REGIONAL IMPACT (DRI):** The Department of Community Affairs (DCA) has formulated development thresholds as listed below. When a development meets or exceeds the

thresholds, the Atlanta Regional Commission (ARC) and the Georgia Regional Transportation Authority (GRTA) shall review the project concurrently. Applicants shall first file the rezoning/use permit request with City of Fairburn. After the ARC/GRTA findings are complete, the rezoning/use permit will be placed on the next available agenda. It is the applicant's responsibility to contact and follow all ARC and GRTA review procedures. For details visit the ARC at www.atlantaregional.com and GRTA at www.grta.org/dri/home.htm or call ARC or GRTA at 404-463-3100.

ITEM 13. **NOISE STUDY REPORT:** Any residential rezoning/use permit located within 1,000 feet of an expressway or within 3,000 feet of an active rail line.

Effective March 1, 2014 DEVELOPMENTS OF REGIONAL IMPACT Tiers and Development Thresholds	
Type of Development	Metropolitan Region
Office	Greater than 400,000 gross square feet
Commercial	Greater than 300,000 gross square feet
Wholesale & Distribution	Greater than gross 500,000 square feet
Hospitals and Health Care Facilities	Greater than 300 new beds; or generating more than 375 peak hour vehicle trips per day
Housing	Greater than 400 new lots or units
Industrial	Greater than 500,000 gross square feet; or employing more than 1,600 workers; or covering more than 400 acres
Hotels	Greater than 400 rooms
Mixed Use	Gross square feet greater than 400,000 (with residential units calculated at either 1,800 square feet per unit or, if applicable, the minimum square footage allowed by local development regulations); or covering more than 120 acres; or if any of the individual uses meets or exceeds a threshold as identified herein
Airports	All new airports, runways and runway extensions
Attractions and Recreational Facilities	Greater than 1,500 parking spaces or a seating capacity of more than 6,000
Post Secondary Schools	New school with a capacity of more than 2,400 students; or expansion by at least 25 percent of capacity
Waste Handling Facilities	New facility or expansion of use of an existing facility by 50 percent or more
Quarries, Asphalt and Cement Plants	New facility or expansion of existing facility by more than 50 percent
Wastewater Treatment Facilities	New major conventional treatment facility or expansion of existing facility by more than 50 percent; or community septic treatment facilities exceeding 150,000 gallons per day or serving a development project that meets or exceeds an applicable threshold as identified herein
Petroleum Storage Facilities	Storage greater than 50,000 barrels if within 1,000 feet of any water supply; otherwise, storage capacity greater than 200,000 barrels
Water Supply Intakes/Public Wells/Reservoirs/Treatment Facilities	New facilities
Intermodal Terminals	New facilities
Truck Stops	A new facility with more than three (3) diesel fuel pumps, or containing a half acre of truck parking or 10 truck parking spaces

Effective March 1, 2014 DEVELOPMENTS OF REGIONAL IMPACT Tiers and Development Thresholds	
Type of Development	Metropolitan Region
Correctional/Detention Facilities	Greater than 300 new beds; or generating more than 375 peak hour vehicle trips per day
Any other development types not identified above (includes parking facilities)	1,000 parking spaces or, if available, more than 5,000 daily trips generated

MEETINGS AND PUBLIC HEARINGS:

- A) **The Planning and Zoning Commission (PZC)** holds a meeting on the first Tuesday of each month at 7:00 PM at Fairburn City Hall, 56 Malone Street, Fairburn, GA 30291. The Planning and Zoning Commission makes recommendations that are forwarded to the Mayor and City Council.
- B) **City Council** holds a public hearing on the second and fourth Monday of each month at 7:00 p.m. at Fairburn City Hill located at 56 Malone Street, Fairburn, GA 30213.

PUBLIC NOTICE:

- A) **Planning and Zoning Commission Meeting (PZC) and Mayor and City Council (MCC) Public Hearing Notice:** Signs posted along the frontages of properties subject to rezoning notify area residents of the Planning and Zoning Commission meeting and City Council public hearing. Applicants are required to post signs in conspicuous places along the property’s public street frontage(s) no later than 15 days before the City Council public hearing. Failure to post the signs properly, in accordance with instructions given to applicants will result in delaying action on the petition until the next available appropriate hearing date. **THERE ARE NO EXCEPTIONS TO PROPERLY POSTING THESE SIGNS.**

If an applicant, prior to advertising, defers a petition, it is the responsibility of the applicant to contact the Planning and Zoning Office at 770-964-2244 to pick up new sign and re-post the property.

When a petition is continued by City Council, posting an updated sign is not required. However, the date on the sign must be changed to reflect the continued hearing date.

Within 30 days of City Council final action the applicant shall remove and properly dispose of all public hearing/meeting signage.

- B) **Adjacent Property Owner Notice:** By U.S. Mail, notices are sent by the applicant to all property owners within 500 feet of properties subject to rezoning. Said notices must be mailed 15 days prior to the City Council public hearing to property owners of record as shown on the current tax records of Fulton County as retrieved by the Geographic Information System.

STAFF ANALYSIS:

A staff analysis for each petition is available on the Friday before each public hearing after 12 noon. Copies are available at the Planning and Zoning Office at 26 West Campbellton Street and on the City’s website at **www.fairburn.com**.



APPLICATION FOR REZONING

City of Fairburn
Community Development Department
26 W. Campbellton Street
Fairburn, GA 30213

Date Received: _____

REZONING #: _____
(Office Use Only)

APPLICANT INFORMATION

Applicant Name: _____

Address: _____

Phone: _____ Cell: _____ Fax: _____

Email Address: _____

OWNER INFORMATION (If different from Applicant)

Owner Name: _____

Address: _____

Phone: _____ Cell: _____ Fax: _____

Email Address: _____

PROPERTY INFORMATION

Address: _____

Parcel ID#: _____ Land Lot: _____ District: _____

REZONING REQUEST

Current Zoning: _____ Current Land Use: _____

Proposed Zoning: _____ Proposed Land Use: _____

Proposed Density (Residential Only): _____

Henry A. Bailey, Jr.
D 404.885.3348
henry.bailey@troutman.com

May 1, 2024

VIA E-MAIL

City of Fairburn
Community Development Department
26 W. Campbellton Street
Fairburn, GA 30213

Re: Letter of Intent, Narrative and Justifications for Rezoning and Special Land Use Permit - Bohannon Road

Parcel IDs: 09F010000110654, 09F010000110662, 09F010000110365, 09F0100001134, 09F010000110548227, 09F010000110100, 09F010000110571, 09F010000110266, 09F010000110647, 09F010000110563

To Whom It May Concern:

Bohannon Road Venture, LLC c/o Troutman Pepper Hamilton Sanders LLP (the "Applicant") submits the enclosed applications for a rezoning and special land use permit application for the development of a data center and substation on the assemblage of properties generally located along Bohannon Road (the "Property"). Below includes the required letter of intent, narrative and justifications for the rezoning and special land use requests.

A. Letter of Intent.

The Property is zoned AG-1 and is a total of 59.68 acres. The Applicant is requesting to rezone the Property from AG-1 to M-1 Light Industrial along with a special land use permit for the use of the data center and the necessary substation. In connection with the above listed applications, the Applicant is also requesting a future land use map amendment to change the future land use plan from Rural Residential and Greenspace to Office – Industrial. Applicant will separately submit an application for the abandonment of Bohannon Drive. Bohannon Drive is an un-paved public right-of-way that is largely abutted on both sides by properties included in this Application, and would therefore serve no purpose upon development of the Property.

In our ever-increasingly digital world, the need and demand for data centers has increased and will continue to do so. These projects create the physical facilities that serve as the backbone of the digital services and products we use every day, and they bring a host of benefits to the communities in which they exist. The competition to attract these uses has increased over the last few years, with many municipalities, including some immediately neighboring Fairburn, working hard to bring them to their locations. The City of Fairburn is poised to benefit from that

demand, and Applicant believes this proposal is one of the best ways for the City to do so. The Applicant is intimately familiar with the Fairburn market, having worked in and around Fairburn for years, and is specifically familiar with the Property itself. Applicant is aware of its history with respect to prior rezoning endeavors for other uses. The proposed data center use provides the best economic use of the Property, as it gives consideration to the surrounding area both physically and economically.

Applicant brings decades of extensive knowledge and experience in the development and ownership of products and projects in every real estate asset class, across multiple cities and states, and can confidently submit that the Property does not have a viable economic use in almost any other capacity than as proposed – as the access, drive-by visibility, physical location, and existing surrounding uses make other product types unviable on the Property. However, due to the very low impact and private nature of the data center use, as well as the fact that the Property fits all of the specific criteria necessary to create a data center, Applicant believes this project fits perfectly with the character of the existing area surrounding the Property, and serves as an excellent buffering use between the existing industrial to the west of the Property and the existing single family to the east (across Bohannon Road).

B. Project Narrative.

Atlanta has become a key hub for data centers, ranking as the 6th largest market in the U.S. today. Challenges such as topography, harsh climates, equipment constraints, and infrastructure and utility scarcity have hindered the ability to meet the demand in other regions, making Atlanta a highly viable option for the industry. Our proposed project's proximity to high-power transmission lines streamlines utility access, thereby facilitating a more effective development process, as well as utilizes property that is usually challenged for other uses and contributes no benefit to the community or City. Data centers are able to use more of the developable land with this power infrastructure/easement space, and remove many barriers to delivery with this proximity such as lack of right-of-way, easements, re-conductor/expansion works, etc.

In addition to those advantages, the project's strategic location in Fairburn offers benefits in terms of latency reduction. Close proximity to other data centers in the Atlanta market is crucial for minimizing latency and enhancing network performance. By situating the facility within this interconnected ecosystem, the project aims to optimize data transmission speeds and bolster overall network reliability. Additionally, the other data center facilities in the area, both those that exist and those planned, make this facility's location optimal for increasing the digital ecosystem's efficiency in the region.

Consisting of three two-story buildings, with a combined area of approximately 1,190,000 square feet, this proposed development is strategically positioned to meet the pressing need previously described. With an estimated total capacity of approximately 216 MW, the project's power consumption will be phased in over time. It is anticipated that the buildings on site will be

put into service incrementally, such that the total power demand is phased in over the course of a few years, rather than being entirely drawn upfront. This approach ensures efficient energization and scalability to meet both current and future demand.

	IT Power Capacity (MW)	Building Power Capacity (MVA)	Anticipated Energization	Incremental Total Load (MVA) / Year				
				2026	2027	2028	2029	2030
Building A	80	108	12/1/2026	40	40	0	0	0
Building B	54	108	12/1/2027	0	27	27	0	0
Building C	83	108	12/1/2028	0	0	41	41	0
				40	67	68	41	0
Total Power				40	107	175	216	216

Furthermore, building systems technologies continue to advance in the data center industry. This project will incorporate efficient water management practices by utilizing proprietary modern cooling equipment, and techniques to minimize consumption and discharge. The current anticipated consumption is approximately 60,000 gallons of water per day and a discharge of approximately 15,000 gallons of sewer per day.

Ingress and egress to the Property is proposed along Bohannon Road in two separate locations in addition to an emergency only access. Parking for the property will be provided via surface parking lots at the respective buildings. All other elements of the development will be done in accordance with the requirements of the zoning ordinance recently adopted by the City of Fairburn via a text amendment to permit data centers with the approval of a special land use permit. Due to the scope of the proposal, the project will be subject to a development of regional impact review that will examine traffic impacts and other potential impacts of the project. Applicant is committed to working with the immediate neighbors to address any concerns about the project.

C. Rezoning Justifications.

1. Does the proposal permit a use that is suitable in view of the use and development of adjacent and nearby property?

The proposed data center use is compatible with the existing character of the neighborhood. There are a number of light to heavy industrial uses located in the nearby and surrounding area. The data center use proposed by this project will serve as a transition between the existing residential uses nearby and the industrial uses farther west and north.

2. Does the proposal adversely affect the existing use or usability of adjacent or nearby property?

As stated above the Property is located in an area with a mix of uses including light to heavy industrial as well as single family residential. The proposed use of the Property is a data center that will not negatively impact the existing industrial uses nearby, nor will it negatively affect the residential uses nearby. The data center use is a low intensity use

with little to no generation of additional traffic that will create a natural transitional buffer between development intensities in this area.

3. Does the property have a reasonable economic use as currently zoned?

Although the Property could be redeveloped under the current zoning, the Property is largely vacant and underutilized. A development consistent with the AG-1 zoning district would not be supported by market demand such that a project on this Property would be viable. This suggests the current zoning is misaligned with current demand in the area. Absent a rezoning to a district that is supported by market demand such as the rezoning requested by this application, the economic use of the Property is severely limited.

4. Will the proposal result in a use that could cause an excessive or burdensome use of existing streets transportation facilities, utilities or schools?

Considering the nature of data center uses, there will not be an excessive or burdensome use of existing streets transportation facilities, utilities or schools. To the extent there are any anticipated impacts on the transportation facilities, they will be addressed during the DRI process.

5. Is the proposal in conformity with the policies and intent of the land use plan?

The Property is located in the Rural Residential and Greenspace future land use plan designation. As a part of the request in this rezoning application, the Applicant is also requesting to amend the future land use plan to O&I such that the proposed use is aligned with the comprehensive plan. Notwithstanding the foregoing, and despite the requested future land use plan change, the existing character of the area is already highly industrial. The proposed use in and of itself is compatible with the existing character of the area and ultimately the future land use map provided the request to O&I is approved.

6. Are there existing or changing conditions that affect the use and development of the property which support either approval or denial of the proposal?

The growth of the Atlanta metropolitan area with the relocation and growth of many technology, film, data storage, television, entertainment and production industries have created an increased need and demand for data center uses. Essentially, the emergence of e-commerce, digital record keeping and file storage, and artificial intelligence has created a need for data centers to handle the type of capacity that allows society the ability to use the technology that makes everyday lives easier.

7. Does the proposal permit a use that can be considered environmentally adverse to the natural resources, environment and citizens of the City of Fairburn?

The proposed use of the Property will not be environmentally adverse to the natural resources, environment and citizens of the City of Fairburn.

D. Special Land Use Permit Justifications.

1. Whether the proposed use is consistent with the comprehensive land use plan adopted by the City Council?

The Property is located in the Rural Residential and Greenspace future land use plan designation. As a part of the request in this rezoning application, the Applicant is also requesting to amend the future land use plan to O&I such that the proposed use is aligned with the comprehensive plan. Notwithstanding the foregoing, and despite the requested future land use plan change, the existing character of the area is already highly industrial. The proposed use in and of itself is compatible with the existing character of the area and ultimately the future land use map provided the request to O&I is approved.

2. Compatibility with land uses and zoning districts in the vicinity of the property for which the use permit is proposed?

The proposed data center use is compatible with the existing character of the neighborhood. There are a number of light to heavy industrial uses located in the nearby and surrounding area. The data center use proposed by this project will serve as a transition between the existing residential uses nearby and the industrial uses farther west and north. The proposed use of the Property is a data center that is compatible with the existing uses nearby and the neighborhood as a whole. The data center use is a low intensity use with little to no generation of additional traffic that will create a natural transitional buffer between development intensities in this area.

3. Whether the proposed use may violate local, state, and/or federal statutes, ordinances or regulations governing land development?

The proposed use does not violate any local, state and/or federal statutes, ordinances or regulations governing land development.

4. The effects of the proposed use on traffic flow, vehicular and pedestrian, along adjoining streets?

Minimal traffic is generated by data center uses. As stated above the project scope requires a DRI review that will address any anticipated impacts of the use on road infrastructure.

5. The location and number of off-street parking spaces?

All parking will be located in surface parking lots internal to the development. The total number of off-street spaces proposed is approximately 168 parking spaces, which exceeds the minimum required.

6. The amount and location of open spaces?

Open space will be maintained throughout the site. Of the entire 59.68 acre Property, a large portion of the Property will remain pervious and not improved with pervious surfaces.

7. Protective Screening?

The project will be developed with appropriate landscape buffers along the roadways. Further, the improvements will be setback from the roadway by 100 feet in accordance with the data center requirements. Further screening is provided due to the topographical features of the site, as the finished floor elevation of the improvements are designed to sit at an elevation below that of the adjacent roadway.

8. Hours and Manner of Operation?

The proposed data center will operate 24 hours, 7 days a week but with limited physical operational activities.

9. Outdoor Lighting?

Outdoor lighting will be limited and designed in accordance with the requirements of the zoning ordinance.

10. Ingress and Egress to the Property?

As mentioned above, the Property will have two points of ingress and egress along Bohannon Road on the northern and southern ends of the site. Emergency only access will provided near the middle of the site.

Best regards,



Henry A. Bailey, Jr.

BOHANNON ROAD & BOHANNON DRIVE PROPERTY ASSEMBLAGE

Survey Parcel #	Property Owner Name	Address	Tax Parcel	Contact Information	Acreage
1	Richard L Benton	8125 Bohannon Drive	09F010000110654	J. Daniel Kalamaro Kalamaro Law Office, LLC 225 North Jeff Davis Dr. Fayetteville, GA 30214 (770) 284-8714 daniel@familyfirstlawyer.com <i>(Acting Contact for All Property Owners)</i>	4.198
2	Catherine Benton	8145 Bohannon Road	09F010000110662		1.504
3	Catherine Benton	8145 Bohannon Road	09F010000110365		12.303
4	Brian Dickson	8155 Bohannon Drive Rear Lot	09F010000114227		8.512
5	Richard L Benton	8155 Bohannon Drive	09F010000110100		2.001
6	Jonathan William Glisson	8156 Bohannon Drive	09F010000110571		2.919
7	Guy W Lassiter & Phyllis M Lassiter	8355 Bohannon Road	09F010000110266		4.328
8	Aaron Matthew Shinstine	8365 Bohannon Road	09F010000110647		5.654
9	Abigail Shinstine (Bottlerocket Enterprises, LLC)	9301 Bohannon Road	09F010000110563		13.544
10	Edward Shinstine	8385 Bohannon Drive	09F010000110548		3.892
					58.855
Bohannon Drive ROW to be Abandoned					0.825
TOTAL SITE ACREAGE					59.68

SECTION I

REZONING REQUEST

Office use only:
ZONING CASE #: _____ ROAD FRONTAGE: _____

PROPERTY ADDRESS (if available): 8125 & 8155 Bohannon Drive

The undersigned, having an interest in the property herein described, respectfully petitions that said property be rezoned from AG-1 Existing Zoning(s) to M-1 w/ Use Permit Proposed Zoning(s)

SECTION IV

OWNER/PETITIONER

NOTICE: Part 1 and/or Part 2 below must be signed and notarized when the petition is submitted. Please complete Section IV as follows:

- a) If you are the sole owner of the property and not the petitioner complete Part 1.
- b) If you are the petitioner and not the sole owner of the property complete Part 2.
- c) If you are the sole owner and petitioner complete Part 1.
- d) If there are multiple owners each must complete a separate Part 1 and include it in the application.

Part 1. Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.

Richard L Benton
TYPE OR PRINT OWNER'S NAME

8125 Bohannon Drive
ADDRESS

Fairburn, GA 30213
CITY & STATE ZIP CODE

OWNER'S SIGNATURE

N/A
EMAIL ADDRESS

Sworn to and subscribed before me this the _____ Day of _____ 20____

NOTARY PUBLIC

PHONE NUMBER

PART 2. Petitioner states under oath that: (1) he/she is the executor or Attorney-in-fact under a Power-of-Attorney for the owner (attach a copy of the Power-of-Attorney letter and type name above as "Owner"); (2) he/she has an option to purchase said property (attach a copy of the contract and type name of owner above as "Owner"); or (3) he/she has an estate for years which permits the petitioner to apply (attach a copy of lease and type name of owner above as "Owner").

Bohannon Road Venture, LLC (c/o Will Casaday)
TYPE OR PRINT PETITIONER'S NAME

3715 Northside Pwky, Suite 4-425
ADDRESS

Atlanta, GA 30327
CITY & STATE ZIP CODE

Henry Bailey
PETITIONER'S SIGNATURE

henry.bailey@troutman.com
EMAIL ADDRESS

Sworn to and subscribed before me this the 22ND Day of April 2024

Sue M Rogers
NOTARY PUBLIC

(404) 885-3348
PHONE NUMBER



SECTION I

REZONING REQUEST

Office use only:
ZONING CASE #: _____ ROAD FRONTAGE: _____

PROPERTY ADDRESS (if available): 8145 Bohannon Road

The undersigned, having an interest in the property herein described, respectfully petitions that said property be rezoned from AG-1 Existing Zoning(s) to M-1 w/ Use Permit Proposed Zoning(s)

SECTION IV

OWNER/PETITIONER

NOTICE: Part 1 and/or Part 2 below must be signed and notarized when the petition is submitted. Please complete Section IV as follows:

- a) If you are the sole owner of the property and not the petitioner complete Part 1.
- b) If you are the petitioner and not the sole owner of the property complete Part 2.
- c) If you are the sole owner and petitioner complete Part 1.
- d) If there are multiple owners each must complete a separate Part 1 and include it in the application.

Part 1. Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.

Catherine Benton
TYPE OR PRINT OWNER'S NAME

8145 Bohannon Road
ADDRESS

Fairburn, GA 30213
CITY & STATE ZIP CODE

OWNER'S SIGNATURE

N/A
EMAIL ADDRESS

Sworn to and subscribed before me this the _____ Day of _____ 20____

NOTARY PUBLIC

PHONE NUMBER

PART 2. Petitioner states under oath that: (1) he/she is the executor or Attorney-in-fact under a Power-of-Attorney for the owner (attach a copy of the Power-of-Attorney letter and type name above as "Owner"); (2) he/she has an option to purchase said property (attach a copy of the contract and type name of owner above as "Owner"); or (3) he/she has an estate for years which permits the petitioner to apply (attach a copy of lease and type name of owner above as "Owner").

Bohannon Road Venture, LLC (c/o Will Casaday)
TYPE OR PRINT PETITIONER'S NAME

3715 Northside Pwky, Suite 4-425
ADDRESS

Atlanta, GA 30327
CITY & STATE ZIP CODE

Will Casaday
PETITIONER'S SIGNATURE

henry.bailey@troutman.com
EMAIL ADDRESS

Sworn to and subscribed before me this the 22ND Day of April 2024

Sue M Rogers
NOTARY PUBLIC

(404) 885-3348
PHONE NUMBER



SECTION I

REZONING REQUEST

Office use only: ZONING CASE #: _____ ROAD FRONTAGE: _____

PROPERTY ADDRESS (if available): 8155 Bohannon Drive Rear Lot

The undersigned, having an interest in the property herein described, respectfully petitions that said property be rezoned from AG-1 to M-1 w/ Use Permit

Existing Zoning(s) Proposed Zoning(s)

SECTION IV

OWNER/PETITIONER

NOTICE: Part 1 and/or Part 2 below must be signed and notarized when the petition is submitted. Please complete Section IV as follows:

- a) If you are the sole owner of the property and not the petitioner complete Part 1.
- b) If you are the petitioner and not the sole owner of the property complete Part 2.
- c) If you are the sole owner and petitioner complete Part 1.
- d) If there are multiple owners each must complete a separate Part 1 and include it in the application.

Part 1. Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.

Brian Dickson

 TYPE OR PRINT OWNER'S NAME

8155 Bohannon Drive Rear

 ADDRESS

Fairburn, GA 30213

 CITY & STATE ZIP CODE

OWNER'S SIGNATURE
 N/A

 EMAIL ADDRESS

Sworn to and subscribed before me this the
 _____ Day of _____ 20____

 NOTARY PUBLIC

 PHONE NUMBER

PART 2. Petitioner states under oath that: (1) he/she is the executor or Attorney-in-fact under a Power-of-Attorney for the owner (attach a copy of the Power-of-Attorney letter and type name above as "Owner"); (2) he/she has an option to purchase said property (attach a copy of the contract and type name of owner above as "Owner"); or (3) he/she has an estate for years which permits the petitioner to apply (attach a copy of lease and type name of owner above as "Owner").

Bohannon Road Venture, LLC (c/o Will Casaday)

 TYPE OR PRINT PETITIONER'S NAME

3715 Northside Pwky, Suite 4-425

 ADDRESS

Atlanta, GA 30327

 CITY & STATE ZIP CODE

Will Casaday

 PETITIONER'S SIGNATURE

henry.bailey@troutman.com

 EMAIL ADDRESS

Sworn to and subscribed before me this the
 22ND Day of April 20 24

Sue M Rogers

 NOTARY PUBLIC

(404) 885-3348

 PHONE NUMBER



SECTION I

REZONING REQUEST

Office use only:
ZONING CASE #: _____ ROAD FRONTAGE: _____

PROPERTY ADDRESS (if available): 8156 Bohannon Drive

The undersigned, having an interest in the property herein described, respectfully petitions that said property be rezoned from AG-1 to M-1 w/ Use Permit
Existing Zoning(s) Proposed Zoning(s)

SECTION IV

OWNER/PETITIONER

NOTICE: Part 1 and/or Part 2 below must be signed and notarized when the petition is submitted. Please complete Section IV as follows:

- a) If you are the sole owner of the property and not the petitioner complete Part 1.
- b) If you are the petitioner and not the sole owner of the property complete Part 2.
- c) If you are the sole owner and petitioner complete Part 1.
- d) If there are multiple owners each must complete a separate Part 1 and include it in the application.

Part 1. Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.

Jonathan William Glisson
TYPE OR PRINT OWNER'S NAME

8156 Bohannon Drive
ADDRESS

Fairburn, GA 30213
CITY & STATE ZIP CODE

OWNER'S SIGNATURE

N/A
EMAIL ADDRESS

Sworn to and subscribed before me this the _____ Day of _____ 20____

NOTARY PUBLIC

PHONE NUMBER

PART 2. Petitioner states under oath that: (1) he/she is the executor or Attorney-in-fact under a Power-of-Attorney for the owner (attach a copy of the Power-of-Attorney letter and type name above as "Owner"); (2) he/she has an option to purchase said property (attach a copy of the contract and type name of owner above as "Owner"); or (3) he/she has an estate for years which permits the petitioner to apply (attach a copy of lease and type name of owner above as "Owner").

Bohannon Road Venture, LLC (c/o Will Casaday)
TYPE OR PRINT PETITIONER'S NAME

3715 Northside Pwky, Suite 4-425
ADDRESS

Atlanta, GA 30327
CITY & STATE ZIP CODE

Will Casaday
PETITIONER'S SIGNATURE

henry.bailey@troutman.com
EMAIL ADDRESS

Sworn to and subscribed before me this the 22ND Day of April 2024

Sue M Rogers
NOTARY PUBLIC

(404) 885-3348
PHONE NUMBER



SECTION 1

REZONING REQUEST

Office use only:
ZONING CASE #: _____ ROAD FRONTAGE: _____

PROPERTY ADDRESS (if available): 8355 Bohannon Road

The undersigned, having an interest in the property herein described, respectfully petitions that said property be rezoned from AG-1 Existing Zoning(s) to M-1 w/ Use Permit Proposed Zoning(s)

SECTION IV

OWNER/PETITIONER

NOTICE: Part 1 and/or Part 2 below must be signed and notarized when the petition is submitted. Please complete Section IV as follows:

- a) If you are the sole owner of the property and not the petitioner complete Part 1.
- b) If you are the petitioner and not the sole owner of the property complete Part 2.
- c) If you are the sole owner and petitioner complete Part 1.
- d) If there are multiple owners each must complete a separate Part 1 and include it in the application.

Part 1. Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.

Guy W. & Phyllis M. Lassiter
TYPE OR PRINT OWNER'S NAME

8355 Bohannon Road
ADDRESS

Fairburn, GA 30213
CITY & STATE ZIP CODE

OWNER'S SIGNATURE

N/A
EMAIL ADDRESS

Sworn to and subscribed before me this the _____ Day of _____ 20____

NOTARY PUBLIC

PHONE NUMBER

PART 2. Petitioner states under oath that: (1) he/she is the executor or Attorney-in-fact under a Power-of-Attorney for the owner (attach a copy of the Power-of-Attorney letter and type name above as "Owner"); (2) he/she has an option to purchase said property (attach a copy of the contract and type name of owner above as "Owner"); or (3) he/she has an estate for years which permits the petitioner to apply (attach a copy of lease and type name of owner above as "Owner").

Bohannon Road Venture, LLC (c/o Will Casaday)
TYPE OR PRINT PETITIONER'S NAME

3715 Northside Pkwy, Suite 4-425
ADDRESS

Atlanta, GA 30327
CITY & STATE ZIP CODE

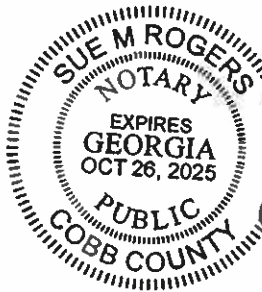
Will Casaday
PETITIONER'S SIGNATURE

henry.bailey@troutman.com
EMAIL ADDRESS

Sworn to and subscribed before me this the 22ND Day of April 2024

Sue M Rogers
NOTARY PUBLIC

(404) 885-3348
PHONE NUMBER



SECTION I

REZONING REQUEST

Office use only: ZONING CASE #: _____ ROAD FRONTAGE: _____

PROPERTY ADDRESS (if available): 8365 Bohannon Road

The undersigned, having an interest in the property herein described, respectfully petitions that said property be rezoned from AG-1 to M-1 w/ Use Permit

Existing Zoning(s) Proposed Zoning(s)

SECTION IV

OWNER/PETITIONER

NOTICE: Part 1 and/or Part 2 below must be signed and notarized when the petition is submitted. Please complete Section IV as follows:

- a) If you are the sole owner of the property and not the petitioner complete Part 1.
- b) If you are the petitioner and not the sole owner of the property complete Part 2.
- c) If you are the sole owner and petitioner complete Part 1.
- d) If there are multiple owners each must complete a separate Part 1 and include it in the application.

Part 1. Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.

Aaron Matthew Shinstine
 TYPE OR PRINT OWNER'S NAME

8365 Bohannon Road
 ADDRESS

Fairburn, GA 30213
 CITY & STATE ZIP CODE

OWNER'S SIGNATURE
N/A

EMAIL ADDRESS

Sworn to and subscribed before me this the _____ Day of _____ 20____

 NOTARY PUBLIC

 PHONE NUMBER

PART 2. Petitioner states under oath that: (1) he/she is the executor or Attorney-in-fact under a Power-of-Attorney for the owner (attach a copy of the Power-of-Attorney letter and type name above as "Owner"); (2) he/she has an option to purchase said property (attach a copy of the contract and type name of owner above as "Owner"); or (3) he/she has an estate for years which permits the petitioner to apply (attach a copy of lease and type name of owner above as "Owner").

Bohannon Road Venture, LLC (c/o Will Casaday)
 TYPE OR PRINT PETITIONER'S NAME

3715 Northside Pwky, Suite 4-425
 ADDRESS

Atlanta, GA 30327
 CITY & STATE ZIP CODE

Will Casaday
 PETITIONER'S SIGNATURE

henry.bailey@troutman.com
 EMAIL ADDRESS

Sworn to and subscribed before me this the 22ND Day of April 2024

Sue M Rogers
 NOTARY PUBLIC

(404) 885-3348
 PHONE NUMBER



SECTION I

REZONING REQUEST

Office use only: ZONING CASE #: _____ ROAD FRONTAGE: _____

PROPERTY ADDRESS (if available): 9301 Bohannon Road

The undersigned, having an interest in the property herein described, respectfully petitions that said property be rezoned from AG-1 to M-1 w/ Use Permit

Existing Zoning(s) Proposed Zoning(s)

SECTION IV

OWNER/PETITIONER

NOTICE: Part 1 and/or Part 2 below must be signed and notarized when the petition is submitted. Please complete Section IV as follows:

- a) If you are the sole owner of the property and not the petitioner complete Part 1.
- b) If you are the petitioner and not the sole owner of the property complete Part 2.
- c) If you are the sole owner and petitioner complete Part 1.
- d) If there are multiple owners each must complete a separate Part 1 and include it in the application.

Part 1. Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.

Abigail Shinstine
 TYPE OR PRINT OWNER'S NAME
9301 Bohannon Road
 ADDRESS
Fairburn, GA 30213
 CITY & STATE ZIP CODE

 OWNER'S SIGNATURE
N/A
 EMAIL ADDRESS

Sworn to and subscribed before me this the _____ Day of _____ 20____

 NOTARY PUBLIC

 PHONE NUMBER

PART 2. Petitioner states under oath that: (1) he/she is the executor or Attorney-in-fact under a Power-of-Attorney for the owner (attach a copy of the Power-of-Attorney letter and type name above as "Owner"); (2) he/she has an option to purchase said property (attach a copy of the contract and type name of owner above as "Owner"); or (3) he/she has an estate for years which permits the petitioner to apply (attach a copy of lease and type name of owner above as "Owner").

Bohannon Road Venture, LLC (c/o Will Casaday)
 TYPE OR PRINT PETITIONER'S NAME
3715 Northside Pwky, Suite 4-425
 ADDRESS
Atlanta, GA 30327
 CITY & STATE ZIP CODE
Will Casaday
 PETITIONER'S SIGNATURE
henry.bailey@troutman.com
 EMAIL ADDRESS

Sworn to and subscribed before me this the 22ND Day of April 2024
Sue M. Rogers
 NOTARY PUBLIC
(404) 885-3348
 PHONE NUMBER

SECTION I

REZONING REQUEST

Office use only:
ZONING CASE #: _____ ROAD FRONTAGE: _____

PROPERTY ADDRESS (if available): 8385 Bohannon Drive

The undersigned, having an interest in the property herein described, respectfully petitions that said property be rezoned from AG-1 Existing Zoning(s) to M-1 w/ Use Permit Proposed Zoning(s)

SECTION IV

OWNER/PETITIONER

NOTICE: Part 1 and/or Part 2 below must be signed and notarized when the petition is submitted. Please complete Section IV as follows:

- a) If you are the sole owner of the property and not the petitioner complete Part 1.
- b) If you are the petitioner and not the sole owner of the property complete Part 2.
- c) If you are the sole owner and petitioner complete Part 1.
- d) If there are multiple owners each must complete a separate Part 1 and include it in the application.

Part 1. Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.

Edward Shinstine
TYPE OR PRINT OWNER'S NAME

8385 Bohannon Drive
ADDRESS

Fairburn, GA 30213
CITY & STATE ZIP CODE

OWNER'S SIGNATURE

N/A
EMAIL ADDRESS

Sworn to and subscribed before me this the _____ Day of _____ 20____

NOTARY PUBLIC

PHONE NUMBER

PART 2. Petitioner states under oath that: (1) he/she is the executor or Attorney-in-fact under a Power-of-Attorney for the owner (attach a copy of the Power-of-Attorney letter and type name above as "Owner"); (2) he/she has an option to purchase said property (attach a copy of the contract and type name of owner above as "Owner"); or (3) he/she has an estate for years which permits the petitioner to apply (attach a copy of lease and type name of owner above as "Owner").

Bohannon Road Venture, LLC (c/o Will Casaday)
TYPE OR PRINT PETITIONER'S NAME

3715 Northside Pkwy, Suite 4-425
ADDRESS

Atlanta, GA 30327
CITY & STATE ZIP CODE

Will Casaday
PETITIONER'S SIGNATURE

henry.bailey@troutman.com
EMAIL ADDRESS

Sworn to and subscribed before me this the 22nd Day of April 2024

Sue M Rogers
NOTARY PUBLIC

PHONE NUMBER



SECTION V

ATTORNEY / AGENT

Check One: [] Attorney [] Agent

TYPE OR PRINT ATTORNEY / AGENT NAME

SIGNATURE OF ATTORNEY / AGENT

ADDRESS

CITY & STATE

ZIP CODE

PETITIONER'S SIGNATURE

PHONE

After recording return to:

Chamberlain, Hrdlicka, White, Williams & Aughtry, P.C.
Attn: Christine R. Norstadt
191 Peachtree Street, N.E., Suite 4600
Atlanta, Georgia 30303

After recording return to:

Calloway Title & Escrow, LLC
2100 Riveredge Parkway, Suite 1025
Atlanta, GA 30328

2-43056

Cross reference to:

Deed Book 17945, Page 322
Deed Book 36424, Page 495
Deed Book 51465, Page 129
Deed Book 55043, Page 21
Deed Book 59582, Page 397
Deed Book 66196, Page 579
Deed Book 66817, Page 456
Deed Book 64719, Page 39
Fulton County, Georgia Public Deed Records

Tax Parcel Identification Numbers: 09F010000110654; 09F010000110662; 09F010000110365; 09F010000114227; 09F010000110100; 09F010000110571; 09F010000110266; 09F010000110647; 09F010000110563; 09F010000110548

MEMORANDUM OF AGREEMENT OF PURCHASE AND SALE

THIS MEMORANDUM OF AGREEMENT OF AGREEMENT OF PURCHASE AND SALE (this "Memorandum") is made and entered into by and between KRATER COMPANIES LLC, a Georgia limited liability company ("Purchaser") and BRIAN DICKSON, GUY W. & PHYLLIS M. LASSITER, RICHARD L. BENTON, CATHERINE (TONY) BENTON, ABIGAIL SHINSTINE, AARON MATTHEW SHINSTINE, EDWARD SHINSTINE and JONATHAN WILLIAM GLISSON (herein collectively referred to as "Seller").

Purchaser and Seller have entered into that certain Agreement of Purchase and Sale dated as of October 31, 2023 (the "Agreement"), and relating to that certain real property located in Fulton County, Georgia and more particularly described on the attached Exhibit A (the "Property").

Purchaser and Seller are executing and recording this Memorandum in the public records of Fulton County, Georgia (the "Public Records") to provide public notice of their respective obligations under the Agreement. The Property is owned by Seller and is subject to all terms of

the Agreement, including, without limitation, Seller's obligation to sell and convey the Property to Purchaser.

Upon conveyance of the Property by Seller to Purchaser or Purchaser's successor by assignment to its rights under the Agreement pursuant to a written deed recorded in the Public Records, or by termination as provided for in the Agreement this Memorandum shall automatically be deemed to have terminated. Except as is provided in the foregoing sentence to the contrary, this Memorandum may be terminated only by a written notice of termination executed by Purchaser and Seller and recorded in the Public Records or by court order entered by a court of competent jurisdiction.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

[SIGNATURES COMMENCE ON FOLLOWING PAGE]

IN WITNESS WHEREOF, Purchaser and Seller have caused this Memorandum of Agreement to be signed, sealed and delivered by their respective duly authorized representatives on the day and year first above written.

Signed, sealed and delivered
in the presence of:

PURCHASER:
KRATER COMPANIES LLC,
a Georgia limited liability company

Heather Bray
(Witness Signature)

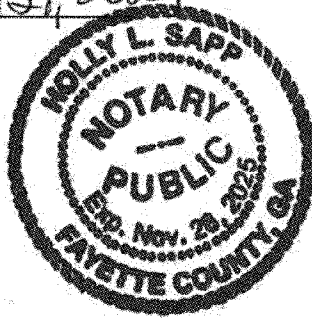
By: [Signature]
Joshua A. Thornton, Principal

Heather Bray
(Witness Printed Name)

[Signature]
(Notary Public Signature)

My commission expires: Nov 29, 2025

(NOTARIAL SEAL)



[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

[SIGNATURES CONTINUE ON FOLLOWING PAGE]

Signed, sealed and delivered
in the presence of:

SELLER:

[Handwritten Signature]
(Witness Signature)

Brian Dickson
Brian Dickson

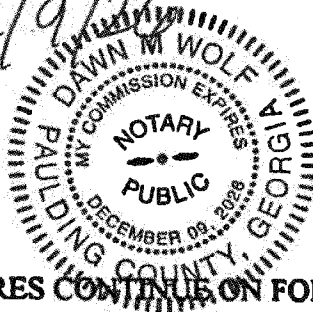
DAVID J. DICKSON
(Witness Printed Name)

[Handwritten Signature]
(Notary Public Signature)

My commission expires:

12/9/26

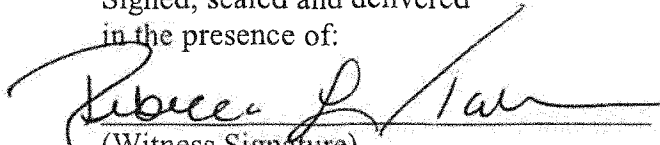
(NOTARIAL SEAL)



[SIGNATURES CONTINUE ON FOLLOWING PAGE]

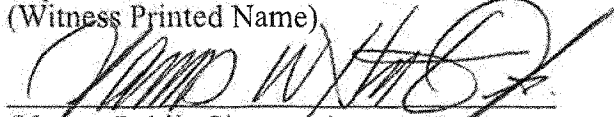
Signed, sealed and delivered
in the presence of:

SELLER:


(Witness Signature)

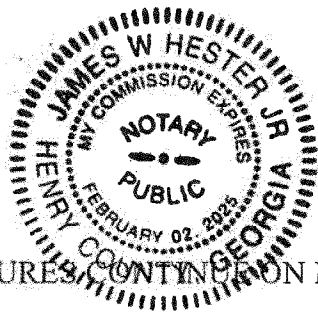

Guy W. Lassiter

Rebecca L. Tallman
(Witness Printed Name)


(Notary Public Signature)

My commission expires: 2/2/2025

(NOTARIAL SEAL)



[SIGNATURES CONTINUE ON FOLLOWING PAGE]

Signed, sealed and delivered
in the presence of:

SELLER:

Rebecca L. Tamm
(Witness Signature)

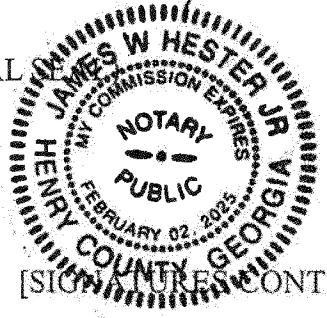
Phyllis M. Lassiter
Phyllis M. Lassiter

Rebecca L. Tallman
(Witness Printed Name)

[Signature]
(Notary Public Signature)

My commission expires: 2/2/2025

(NOTARIAL



[SIGNATURES CONTINUE ON FOLLOWING PAGE]

Signed, sealed and delivered
in the presence of:

[Handwritten Signature]

(Witness Signature)

Danita A. Thomas

(Witness Printed Name)

[Handwritten Signature]

(Notary Public Signature)

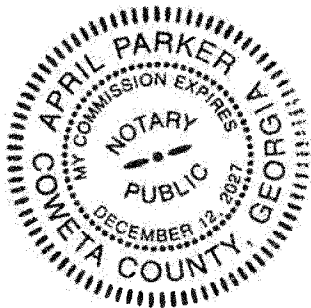
My commission expires: 12/12/27

SELLER:

[Handwritten Signature]

Richard L. Benton

(NOTARIAL SEAL)



Signed, sealed and delivered
in the presence of:

White of Jones

(Witness Signature)

Devita A. Thomas

(Witness Printed Name)

April Parker

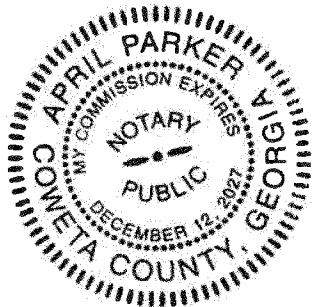
(Notary Public Signature)

My commission expires: 12/12/27

(NOTARIAL SEAL)

SELLER:

Catherine (Tony) Benton
Catherine (Tony) Benton



[SIGNATURES CONTINUE ON FOLLOWING PAGE]

Signed, sealed and delivered
in the presence of:

[Handwritten Signature]

(Witness Signature)

Danta A. Thomas

(Witness Printed Name)

[Handwritten Signature]

(Notary Public Signature)

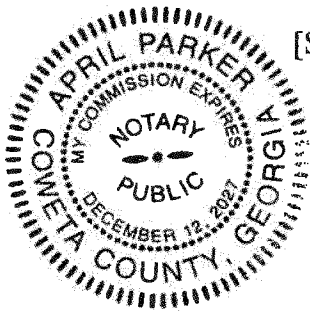
My commission expires: 12/12/27

SELLER:

[Handwritten Signature]

Aaron Matthew Shinstine

(NOTARIAL SEAL)



[SIGNATURES CONTINUE ON FOLLOWING PAGE]

Signed, sealed and delivered
in the presence of:

[Handwritten Signature]

(Witness Signature)

Danota A. Thomas

(Witness Printed Name)

[Handwritten Signature]

(Notary Public Signature)

My commission expires: 12/12/27

SELLER:

[Handwritten Signature]
Abigail Shinstine

(NOTARIAL SEAL)



[SIGNATURES CONTINUE ON FOLLOWING PAGE]

Signed, sealed and delivered
in the presence of

[Handwritten Signature]

(Witness Signature)

Danita A. Thomas

(Witness Printed Name)

[Handwritten Signature]

(Notary Public Signature)

My commission expires: 12/12/27

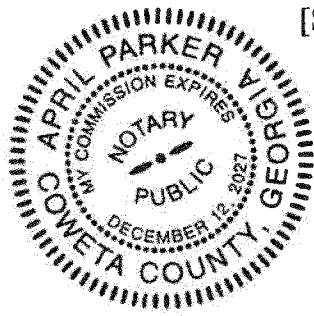
SELLER:

[Handwritten Signature]

Edward Shinstine

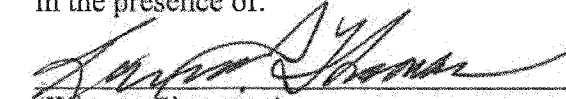
(NOTARIAL SEAL)

[SIGNATURES CONTINUE ON FOLLOWING PAGE]




Signed, sealed and delivered
in the presence of:

SELLER:

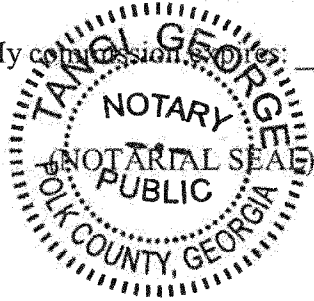

(Witness Signature)


(Jonathan William Glisson)


(Witness Printed Name)


(Notary Public Signature)

My commission expires: 6-13-26



[END OF SIGNATURES]



IMPACT ANALYSIS

Applicant: _____

Analyze the impact of the proposed rezoning and answer the following questions:

1. Does the proposal permit a use that is suitable in view of the use and development of adjacent and nearby property? _____

2. Does the proposal adversely affect the existing use or usability of adjacent or nearby property? _____

3. Does the property have a reasonable economic use as currently zoned? _____

4. Will the proposal result in a use that could cause an excessive or burdensome use of existing streets, transportation facilities, utilities or schools? _____

5. Is the proposal in conformity with the policies and intent of the land use plan? _____

6. Are there existing or changing conditions that affect the use and development of the property which support either approval or denial of the proposal? _____

7. Does the proposal permit a use that can be considered environmentally adverse to the natural resources, environment and citizens of City of Fairburn? _____

Attach additional sheets as needed.



DISCLOSURE REPORT FORM C

Office use only:

REZONING PETITION #: _____ CITY COUNCIL MEETING DATE: _____

Within the (2) years immediately preceding the filing of this zoning petition have you, as the applicant, owner and/or opponent for the rezoning petition, or an attorney or agent of the applicant or opponent for the rezoning petition, made any campaign contributions aggregating \$250.00 or more or made gifts having an aggregate value of \$250.00 to a member of City Council.

CIRCLE ONE: YES **NO**

If the answer is *YES*, proceed to sections 1 through 4.
If the answer is *NO*, complete only section 4.

1. **CIRCLE ONE:** Party to Petition In Opposition to Petition

If party to petition, complete sections 2, 3, and 4 below.
If in opposition, proceed to sections 3 and 4 below.

2. List all individuals or business entities which have an ownership interest in the property which is the subject of this rezoning petition: _____

3. CAMPAIGN CONTRIBUTIONS:

Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) Bohannon Road Venture, LLC (c/o William M. Casaday)

Signature:  Date: 5/1/24



DISCLOSURE REPORT

Office use only:

USE PERMIT PETITION #: _____ CITY COUNCIL MEETING DATE: _____

Within the (2) years immediately preceding the filing of this zoning petition have you, as the applicant, owner and/or opponent for the use permit petition, or an attorney or agent of the applicant or opponent for the use permit petition, made any campaign contributions aggregating \$250.00 or more or made gifts having an aggregate value of \$250.00 to a member of City Council.

CIRCLE ONE: YES NO

If the answer is YES, proceed to sections 1 through 4.
If the answer is NO, complete only section 4.

1. CIRCLE ONE: Party to Petition In Opposition to Petition

If party to petition, complete sections 2, 3, and 4 below.
If in opposition, proceed to sections 3 and 4 below.

2. List all individuals or business entities which have an ownership interest in the property which is the subject of this use permit petition: _____

3. CAMPAIGN CONTRIBUTIONS:

Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) Henry Bailey
Signature: [Handwritten Signature] Date: 5/2/24



DISCLOSURE REPORT FORM C

Office use only:

REZONING PETITION #: _____ CITY COUNCIL MEETING DATE: _____

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CIRCLE ONE: YES NO

If the answer is *YES*, proceed to sections 1 through 4.
If the answer is *NO*, complete only section 4.

1. **CIRCLE ONE:** Party to Petition In Opposition to Petition

If party to petition, complete sections 2, 3, and 4 below.
If in opposition, proceed to sections 3 and 4 below.

2. List all individuals or business entities which have an ownership interest in the property which is the subject of this rezoning petition: _____

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Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) Aaron Matthew Shinstine

Signature: Aaron Matthew Shinstine Date: 04/22/24



DISCLOSURE REPORT FORM C

Office use only:

REZONING PETITION #: _____ CITY COUNCIL MEETING DATE: _____

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CIRCLE ONE: YES NO

If the answer is YES, proceed to sections 1 through 4.
If the answer is NO, complete only section 4.

1. **CIRCLE ONE:** Party to Petition In Opposition to Petition

If party to petition, complete sections 2, 3, and 4 below.
If in opposition, proceed to sections 3 and 4 below.

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4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) Wayne Howard Benton

Signature: Wayne Howard Benton Date: 04/23/24



DISCLOSURE REPORT FORM C

Office use only:

REZONING PETITION #: _____ CITY COUNCIL MEETING DATE: _____

Within the (2) years immediately preceding the filing of this zoning petition have you, as the applicant, owner and/or opponent for the rezoning petition, or an attorney or agent of the applicant or opponent for the rezoning petition, made any campaign contributions aggregating \$250.00 or more or made gifts having an aggregate value of \$250.00 to a member of City Council.

CIRCLE ONE: YES NO

If the answer is YES, proceed to sections 1 through 4.
If the answer is NO, complete only section 4.

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If party to petition, complete sections 2, 3, and 4 below.
If in opposition, proceed to sections 3 and 4 below.

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4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) Russell Earnest Benton

Signature: Russell Earnest Benton Date: 04/23/24



DISCLOSURE REPORT FORM C

Office use only:

REZONING PETITION #: _____ CITY COUNCIL MEETING DATE: _____

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CIRCLE ONE: YES NO

If the answer is *YES*, proceed to sections 1 through 4.
If the answer is *NO*, complete only section 4.

1. **CIRCLE ONE:** Party to Petition In Opposition to Petition

If party to petition, complete sections 2, 3, and 4 below.
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Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

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Name (print) Richard L. Benton
Signature Richard L. Benton Date: 04/24/24



DISCLOSURE REPORT FORM C

Office use only:

REZONING PETITION #: _____ CITY COUNCIL MEETING DATE: _____

Within the (2) years immediately preceding the filing of this zoning petition have you, as the applicant, owner and/or opponent for the rezoning petition, or an attorney or agent of the applicant or opponent for the rezoning petition, made any campaign contributions aggregating \$250.00 or more or made gifts having an aggregate value of \$250.00 to a member of City Council.

CIRCLE ONE: YES NO

If the answer is YES, proceed to sections 1 through 4.
If the answer is NO, complete only section 4.

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4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) Edward Shinstine _____

Signature: Edward Shinstine Date: 04/22/24



DISCLOSURE REPORT FORM C

Office use only:

REZONING PETITION #: _____ CITY COUNCIL MEETING DATE: _____

Within the (2) years immediately preceding the filing of this zoning petition have you, as the applicant, owner and/or opponent for the rezoning petition, or an attorney or agent of the applicant or opponent for the rezoning petition, made any campaign contributions aggregating \$250.00 or more or made gifts having an aggregate value of \$250.00 to a member of City Council.

CIRCLE ONE: YES NO

If the answer is *YES*, proceed to sections 1 through 4.
If the answer is *NO*, complete only section 4.

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3. CAMPAIGN CONTRIBUTIONS:

Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) Jonathan William Glisson

Signature: Jonathan William Glisson Date: 04/23/24



DISCLOSURE REPORT FORM C

Office use only:

REZONING PETITION #: _____ CITY COUNCIL MEETING DATE: _____

Within the (2) years immediately preceding the filing of this zoning petition have you, as the applicant, owner and/or opponent for the rezoning petition, or an attorney or agent of the applicant or opponent for the rezoning petition, made any campaign contributions aggregating \$250.00 or more or made gifts having an aggregate value of \$250.00 to a member of City Council.

CIRCLE ONE: YES NO

If the answer is *YES*, proceed to sections 1 through 4.
If the answer is *NO*, complete only section 4.

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If party to petition, complete sections 2, 3, and 4 below.
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Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) Larry Al Benton

Signature: Larry Al Benton Date: 04/23/24



DISCLOSURE REPORT FORM C

Office use only:

REZONING PETITION #: _____ CITY COUNCIL MEETING DATE: _____

Within the (2) years immediately preceding the filing of this zoning petition have you, as the applicant, owner and/or opponent for the rezoning petition, or an attorney or agent of the applicant or opponent for the rezoning petition, made any campaign contributions aggregating \$250.00 or more or made gifts having an aggregate value of \$250.00 to a member of City Council.

CIRCLE ONE:

YES

NO

If the answer is YES, proceed to sections 1 through 4.

If the answer is NO, complete only section 4.

1. **CIRCLE ONE:** Party to Petition In Opposition to Petition

If party to petition, complete sections 2, 3, and 4 below.

If in opposition, proceed to sections 3 and 4 below.

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Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) Catherine (Tony) Benton

Signature: Catherine (Tony) Benton Date: 04/23/24



DISCLOSURE REPORT FORM C

Office use only:

REZONING PETITION #: _____ CITY COUNCIL MEETING DATE: _____

Within the (2) years immediately preceding the filing of this zoning petition have you, as the applicant, owner and/or opponent for the rezoning petition, or an attorney or agent of the applicant or opponent for the rezoning petition, made any campaign contributions aggregating \$250.00 or more or made gifts having an aggregate value of \$250.00 to a member of City Council.

CIRCLE ONE: YES **NO**

If the answer is *YES*, proceed to sections 1 through 4.
If the answer is *NO*, complete only section 4.

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4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) Abigail Shinstine

Signature: Abigail N Shinstine Date: 04/22/24



DISCLOSURE REPORT FORM C

Office use only:

REZONING PETITION #: _____ CITY COUNCIL MEETING DATE: _____

Within the (2) years immediately preceding the filing of this zoning petition have you, as the applicant, owner and/or opponent for the rezoning petition, or an attorney or agent of the applicant or opponent for the rezoning petition, made any campaign contributions aggregating \$250.00 or more or made gifts having an aggregate value of \$250.00 to a member of City Council.

CIRCLE ONE: YES NO

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4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) Guy W. Lassiter Phyllis M. Lassiter

Signature Guy W. Lassiter 04/24/24 Date: _____

Phyllis M. Lassiter 04/24/24



PUBLIC PARTICIPATION PROGRAM

Public Participation Program consists of a two-part process designed to enhance dialogue between applicants and communities which may be impacted by a proposed development.

Part 1 of the process is the Public Participation Plan which is required with all rezoning and/or use permit applications. The plan must be filed simultaneously with the application and implemented before the first public hearing. The minimum standards for the plan are as follows:

- Identification of all property owners within 500 feet of the site and area homeowners' associations, environmentally stressed communities, political jurisdictions, and any other public agencies or organizations which may be affected by an application as determined by the applicant and the current planner at the time of the pre-application review
- Explanation of how interested parties will be informed of rezoning/use permit applications
- Methods for providing opportunities for discussion with interested parties before public hearings are held. Applicants are required to schedule at least one meeting at a convenient location and time and notify all interested parties, as identified above of the purpose, place and time of the meeting.
- Applicant's schedule for completion of the Public Participation Plan

Part 2 of the Public Participation Program is the Public Participation Report which is due per the attached schedule. The minimum standards for the Report are as follows:

- Provide a list of all parties that were contacted, the methods of notification that were used, and copies of all notification letters.
- Provide dates and locations of all community and/or other meetings that were attended by the applicant to discuss an application. (Attach meeting notices, letters, etc.)
- Provide the number of people who participated in meetings held to discuss an application. (Attach sign-in sheets)
- A summary of concerns and issues expressed by interested parties.
- A summary of the applicant's response to concerns and issues.

PUBLIC PARTICIPATION PLAN

Applicant: _____

1. The following individuals (property owners within 500 feet of the property), homeowner's associations, political jurisdictions, other public agencies, etc., will be notified:

2. The individuals and others listed in 1. above will be notified of the requested rezoning/use permit using the following method(s): (e.g., letters, meeting notices, telephone calls, e-mails, etc.)

3. Individuals and others listed in 1. above will be allowed to participate in the following manner: (At least one meeting at a convenient time and location is required.)

Attach additional sheets as needed.

PUBLIC PARTICIPATION PLAN REPORT

Applicant: _____ Petition No. _____

Date: _____

1. The following parties were notified of the requested rezoning/use permit:

2. The following meetings were held regarding this petition: (Include the date, time, and meeting location.)

3. The following issues and concerns were expressed:

4. The applicant's response to issues and concerns was as follows:

5. Applicants are required to attach copies of sign-in sheets from meetings as well as meeting announcements, i.e., notices, flyers, letters, and any other documentation which supports the opportunity for public input.

Attach additional sheets as needed.



SITE PLAN CHECKLIST

Site plans for rezoning and use permit must be folded, drawn to scale, no larger than 30" x 42", and shall, at a minimum, include the following information:

ITEM #	DESCRIPTION	CHECK √
1	An accurate, up-to-date and certified survey of the property	
2	Name, address, phone number, and fax number of the owner, the developer and the designer who prepared the plan.	
3	Vicinity map with North arrow showing the property in relation to the general area	
4	Acreage of subject property	
5	Location of land lot lines and identification of land lots	
6	Existing, proposed new dedicated and future reserved rights-of-way of all streets, roads, and railroads adjacent to and on the subject property; Proposed streets on the subject site	
7	Current zoning of the subject site with required and/or proposed setbacks and adjoining properties	
8	Total are of the site, and the areas of the proposed to be devoted to impervious surfaces	
9	Proposed off-site layout including buildings, drives, parking, walkways, landscaped-areas, tree save area, buffers, easements, utilities and any other features necessary to properly present the development	
10	Layout and minimum lot size of proposed single family residential lots	N/A
11	Topography on subject site	
12	Required landscape strips, undisturbed buffers, and any other natural areas as required or proposed	
13	Required and proposed parking spaces; Loading and unloading facilities	
14	Wetlands, lakes, streams and other waters on the site and associated buffers including the 100 year flood-plain, if appropriate.	
15	Proposed stormwater management facilities	
16	Architectural elevations to show the intended architectural character of the proposed building and the nature of the materials to be used.	

Office use only:

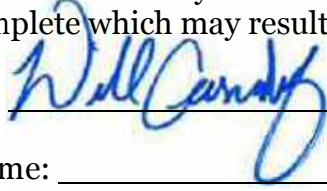
Application reviewed by: _____

Staff signature: _____ Date: _____

Community Development/
Planning and Zoning

Staff printed name: _____

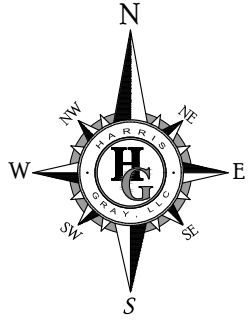
The undersigned acknowledges that the site plan is submitted in accordance with Chapter 62, Article V - The Building Process of the City of Fairburn Code of Ordinance and failure to comply shall render my application incomplete which may result in delay in the process of this application.

Applicant signature: 

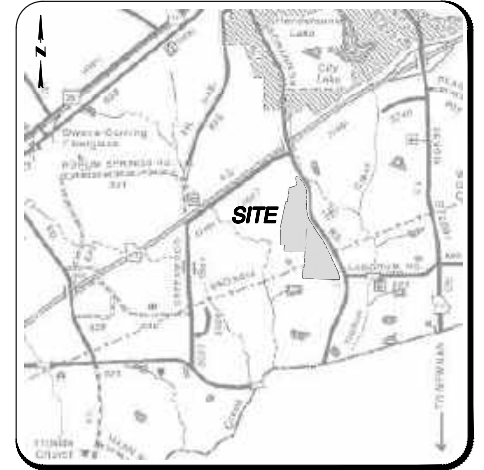
Date: _____

Applicant printed name: _____
(William M. Casaday)

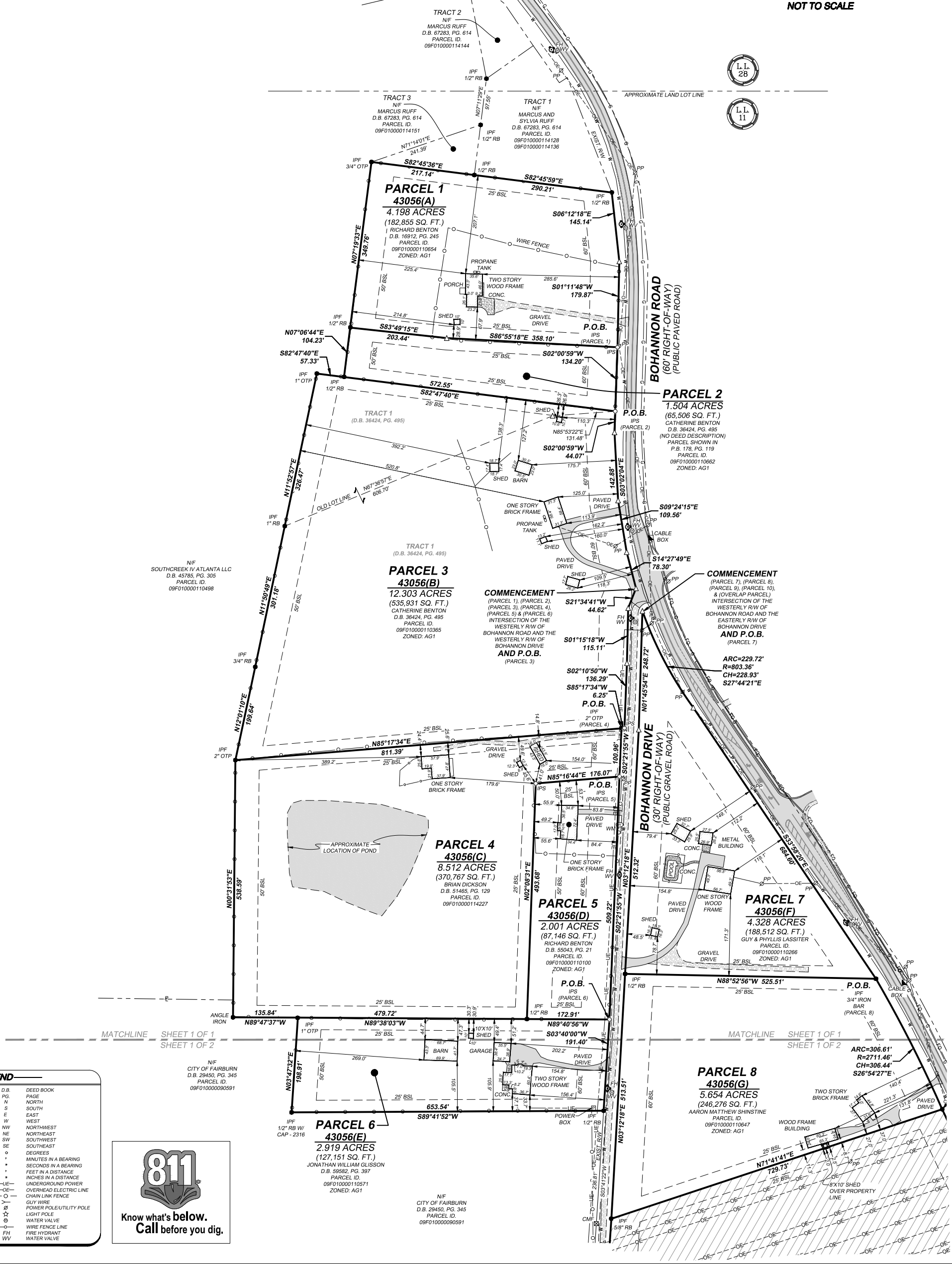
THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT



BASIS OF BEARING
GEORGIA STATE PLANE
COORDINATE SYSTEM
GRID NORTH - GA WEST ZONE

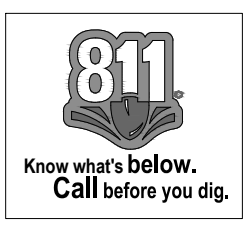


VICINITY MAP
NOT TO SCALE



LEGEND

○	IRON PIN SET - 1/2" REBAR	D.B.	DEED BOOK
●	IRON PIN FOUND - AS NOTED	PG.	PAGE
IPF	IRON PIN SET	N	NORTH
IPF	IRON PIN FOUND	S	SOUTH
△	CALCULATED POINT	E	EAST
CTP	CRIMP TOP PIPE	W	WEST
OTF	OPEN TOP PIPE	NW	NORTHWEST
RB	REBAR	NE	NORTHEAST
EXIST	EXISTING	SW	SOUTHWEST
P.O.B.	POINT OF BEGINNING	SE	SOUTHEAST
(123.45)	RECORDED DISTANCE	°	DEGREES
R/W	RIGHT OF WAY	'	MINUTES IN A BEARING
—	PROPERTY LINE	+	SECONDS IN A BEARING
—	CENTERLINE	+	FEET IN A DISTANCE
—	GAS LINE	—	INCHES IN A DISTANCE
—	CABLE / FIBEROPTIC LINE	—	UNDERGROUND POWER
—	WIRE FENCE	—	OVERHEAD ELECTRIC LINE
—	POWER POLE	—	CHAIN LINK FENCE
—	LIGHT POLE	—	GUY WIRE
—	WATER METER	—	POWER POLE/UTILITY POLE
—	WATER VALVE	—	LIGHT POLE
—	LINE NOT TO SCALE	—	WATER VALVE
—		—	WIRE FENCE LINE
—		—	FIRE HYDRANT
—		—	WATER VALVE



DATE	REVISIONS	BY

HARRIS GRAY, LLC
ENGINEERS • SURVEYORS • PLANNERS
CERTIFICATE OF AUTHORIZATION NO. LSF 001188
824 THIRD AVENUE • WEST POINT, GEORGIA 31833
PHONE: (706) 645 - 5885

ALTA/NSPS LAND TITLE SURVEY FOR
KRATER COMPANIES, LLC AND CHICAGO TITLE INSURANCE COMPANY

LAND LOTS 9, 11 & 28, 9F DISTRICT
CITY OF FAIRBURN, FULTON COUNTY, GEORGIA

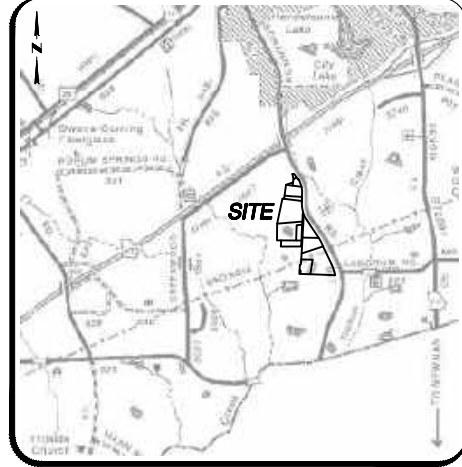
DATE	12/21/2023
DRAWN BY	RLW
CHKD BY	BSG
FIELD CREW	MP
FILE NAME	KCL ALTA
JOB NO.	GA230320
DWG. SCALE	1" = 100'

THIS PLAT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL.

GRAPHIC SCALE
0 50 100 200 300

REGISTERED LAND SURVEYOR
B. SHAWN GRAY
NO. 2879
STATE OF GEORGIA

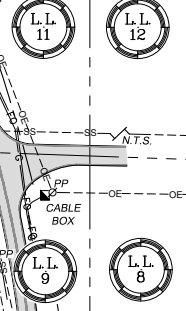
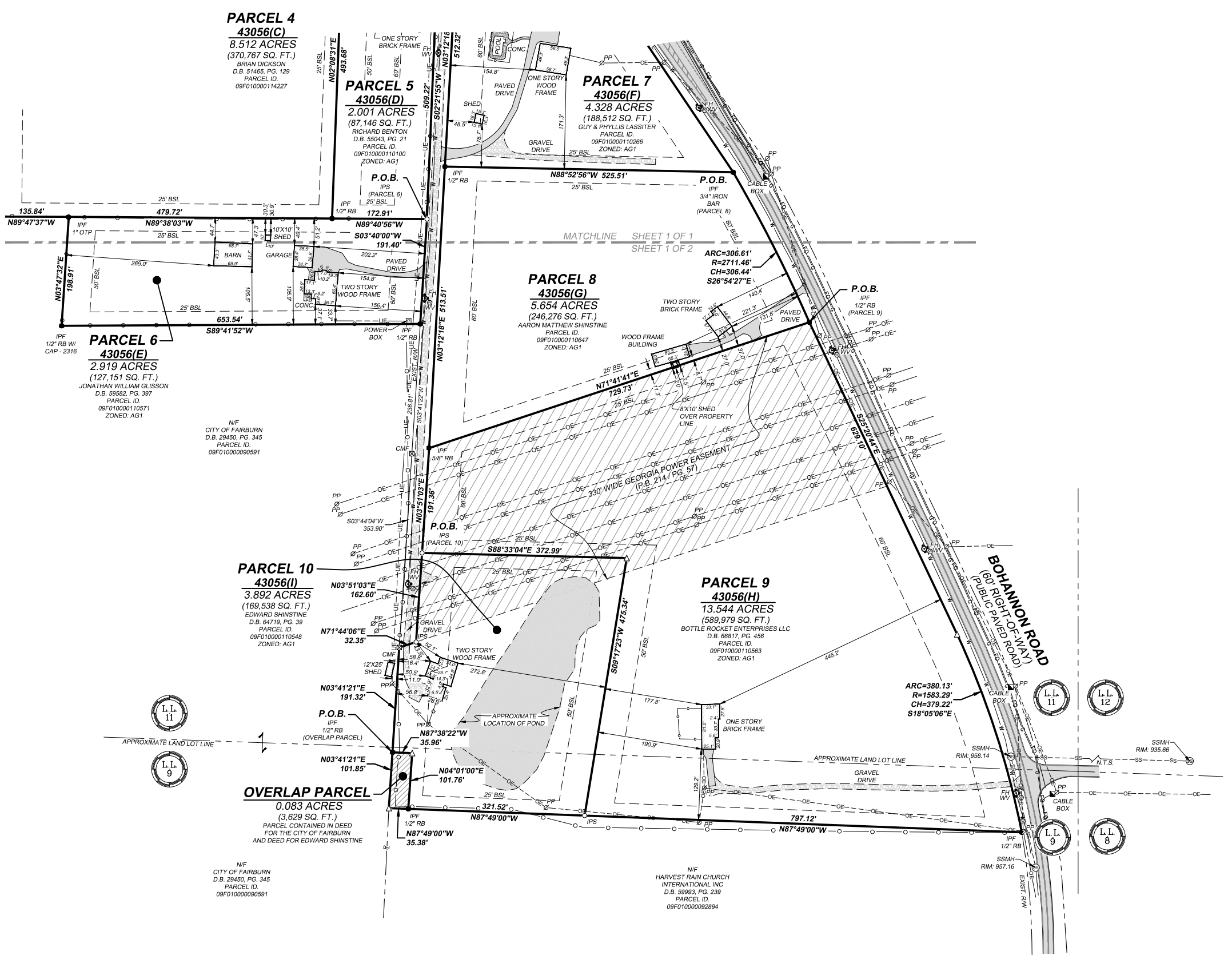
THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT



VICINITY MAP
NOT TO SCALE



BASIS OF BEARING
GEORGIA STATE PLANE
COORDINATE SYSTEM
GRID NORTH - GA WEST ZONE



LEGEND

○	IRON PIN SET - 1/2" REBAR	D.B.	DEED BOOK
●	IRON PIN FOUND - AS NOTED	PG.	PAGE
IP	IRON PIN SET	N	NORTH
IPF	IRON PIN FOUND	S	SOUTH
△	CALCULATED POINT	E	EAST
CTP	CRIMP TOP PIPE	W	WEST
OTP	OPEN TOP PIPE	NW	NORTHWEST
RB	REBAR	NE	NORTHEAST
EXIST	EXISTING	SW	SOUTHWEST
P.O.B.	POINT OF BEGINNING (123.45)	SE	SOUTHEAST
RW	RIGHT OF WAY	°	DEGREES
P	PROPERTY LINE	'	MINUTES IN A BEARING
CL	CENTERLINE	•	SECONDS IN A BEARING
—G—	GAS LINE	—	FEET IN A DISTANCE
—FO—	CABLE / FIBEROPTIC LINE	—	INCHES IN A DISTANCE
—X—	WIRE FENCE	—	UNDERGROUND POWER
—	POWER POLE	—	OVERHEAD ELECTRIC LINE
LP	LIGHT POLE	—	CHAIN LINK FENCE
WM	WATER METER	—	GUY WIRE
W	WATER METER	—	POWER POLE/UTILITY POLE
—	LINE NOT TO SCALE	—	LIGHT POLE
—	FIRE HYDRANT	—	WATER VALVE
		—	WIRE FENCE LINE
		—	FIRE HYDRANT
		—	WATER VALVE



DATE	REVISIONS	BY

HARRIS GRAY, LLC
ENGINEERS • SURVEYORS • PLANNERS
CERTIFICATE OF AUTHORIZATION NO. LSF 001188
824 THIRD AVENUE • WEST POINT, GEORGIA 31833
PHONE: (706) 645 - 5885

ALTA/NSPS LAND TITLE SURVEY FOR
KRATER COMPANIES, LLC AND CHICAGO TITLE INSURANCE COMPANY
LAND LOTS 9, 11 & 28, 9F DISTRICT
CITY OF FAIRBURN, FULTON COUNTY, GEORGIA

DATE	12/21/2023
DRAWN BY	RLW
CHKD BY	BSG
FIELD CREW	MP
FILE NAME	KCL ALTA
JOB NO.	GA230320
DWG. SCALE	1" = 100'

THIS PLAT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL.

GRAPHIC SCALE
0 50 100 200 300



LEGAL DESCRIPTION – COMBINATION - OVERALL

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 9 and 11, 9F District, City of Fairburn, Fulton County, Georgia and being more particularly described as follows:

Commencing at a point at the intersection of the Westerly Right-of-Way of Bohannon Road (60' Right-of-Way) and the Westerly Right-of-Way of Bohannon Drive (30' Right-of-Way) (Vacated Road), said point being the POINT OF BEGINNING.

From said POINT OF BEGINNING leaving said intersection and continue along the Westerly Right-of-Way of Bohannon Road South 15 degrees 52 minutes 14 seconds East, a distance of 49.16 feet to a point;

Thence along a curve to the left, an arc length of 229.72 feet, having a radius of 803.36 feet, and being subtended by a chord bearing South 27 degrees 44 minutes 21 seconds East, a chord distance of 228.93 feet to a point;

Thence South 33 degrees 58 minutes 20 seconds East, a distance of 684.60 feet to an iron pin found (3/4" iron bar);

Thence along a curve to the right, an arc length of 306.61 feet, having a radius of 2711.46 feet, and being subtended by a chord bearing South 26 degrees 54 minutes 27 seconds East, a chord distance of 306.44 feet to an iron pin found (1/2" rebar);

Thence South 25 degrees 20 minutes 44 seconds East, a distance of 629.10 feet to a point;

Thence along a curve to the right, an arc length of 380.13 feet, having a radius of 1583.29 feet, and being subtended by a chord bearing South 18 degrees 05 minutes 06 seconds East, a chord distance of 379.22 feet to an iron pin found (1/2" rebar);

Thence leaving said Right-of-Way North 87 degrees 49 minutes 00 seconds West, a distance of 797.12 feet to an iron pin set (1/2" rebar w/ cap - GRAY);

Thence North 87 degrees 49 minutes 00 seconds West, a distance of 321.52 feet to an iron pin found (1/2" rebar);

Thence North 87 degrees 49 minutes 00 seconds West, a distance of 35.38 feet to a point;

Thence North 03 degrees 41 minutes 21 seconds East, a distance of 101.85 feet to an iron pin found (1/2" rebar);

Thence North 03 degrees 41 minutes 21 seconds East, a distance of 191.32 feet to a concrete monument found on the Westerly Right-of-Way of Bohannon Drive;

Thence North 71 degrees 44 minutes 06 seconds East, a distance of 32.35 feet to an iron pin set (1/2" rebar w/ cap – GRAY) on the Easterly Right-of-Way of Bohannon Drive;

Thence along said Right-of-Way North 03 degrees 51 minutes 03 seconds East, a distance of 162.60 feet to an iron pin set (1/2" rebar w/ cap – GRAY);

Thence North 03 degrees 51 minutes 03 seconds East, a distance of 191.36 feet to an iron pin found (5/8" rebar);

Thence North 03 degrees 12 minutes 18 seconds East, a distance of 224.91 feet to a point;

Thence North 86 degrees 47 minutes 42 seconds West, a distance of 28.82 feet to an iron pin found (1/2" rebar) on the Westerly Right-of-Way of Bohannon Drive;

Thence leaving said Right-of-Way South 89 degrees 41 minutes 52 seconds West, a distance of 653.54 feet to an iron pin found (1/2" rebar w/ cap - 2316);

Thence North 03 degrees 47 minutes 32 seconds East, a distance of 198.91 feet to an iron pin found (1" open top pipe);

Thence North 89 degrees 47 minutes 37 seconds West, a distance of 135.84 feet to an angle iron found;

Thence North 00 degrees 31 minutes 53 seconds East, a distance of 538.59 feet to an iron pin found (2" open top pipe);

Thence North 12 degrees 01 minutes 10 seconds East, a distance of 199.64 feet to an iron pin found (3/4" rebar);

Thence North 11 degrees 50 minutes 49 seconds East, a distance of 301.18 feet to an iron pin found (1" rebar);

Thence North 11 degrees 52 minutes 57 seconds East, a distance of 326.47 feet to an iron pin found (1" open top pipe);

Thence South 82 degrees 47 minutes 40 seconds East, a distance of 57.33 feet to an iron pin found (1/2" rebar);

Thence North 07 degrees 06 minutes 44 seconds East, a distance of 104.23 feet to an iron pin found (1/2" rebar);

Thence North 07 degrees 19 minutes 33 seconds East, a distance of 349.76 feet to an iron pin found (3/4" open top pipe);

Thence South 82 degrees 45 minutes 36 seconds East, a distance of 217.14 feet to an iron pin found (1/2" rebar);

Thence South 82 degrees 45 minutes 59 seconds East, a distance of 290.21 feet to an iron pin found (1/2" rebar) on the Westerly Right-of-Way of Bohannon Road;

Thence along said Right-of-Way South 06 degrees 12 minutes 18 seconds East, a distance of 145.14 feet to a point;

Thence South 01 degrees 11 minutes 48 seconds West, a distance of 179.87 feet to an iron pin set (1/2" rebar w/ cap - GRAY);

Thence South 02 degrees 00 minutes 59 seconds West, a distance of 134.20 feet to an iron pin set (1/2" rebar w/ cap - GRAY);

Thence South 02 degrees 00 minutes 59 seconds West, a distance of 44.07 feet to a point;

Thence South 03 degrees 02 minutes 04 seconds East, a distance of 142.88 feet to a point;

Thence South 09 degrees 24 minutes 15 seconds East, a distance of 109.56 feet to a point;

Thence South 14 degrees 27 minutes 49 seconds East, a distance of 78.30 feet to a point, said point being the POINT OF BEGINNING.

Said Parcel containing 59.690 acres or 2,600,080 square feet.

GEORGIA, FULTON COUNTY
FILED AND RECORDED

1994 FEB 17 AM 8 30

JUANITA HICKS
CLERK, SUPERIOR COURT

**JOINT TENANCY WITH SURVIVORSHIP
WARRANTY DEED**

STATE OF GEORGIA,
COUNTY OF FAYETTE

This indenture made this 27th day of January, in the year One Thousand Nine Hundred Ninety-Four, between J. Troy Hynson and Paula B. Hynson, of the County of Fulton, State of Georgia, as party or parties of the first part, hereinafter called Grantor, and Guy W. Lassiter and Phyllis M. Lassiter, as joint tenants with survivorship and not as tenants in common as parties of the second part, hereinafter called Grantees (the words "Grantor" and "Grantees" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other good and valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipts whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantees, as joint tenants and not as tenants in common, for and during their joint lives, and upon the death of either of them, then to the survivor of them, in fee simple, together with every contingent remainder and right of reversion, and to the heirs and assigns of said survivor, the following described property

SEE LEGAL DESCRIPTION ON EXHIBIT "A" ATTACHED HERETO AND BY
THIS REFERENCE MADE A PART HEREOF.

Fulton County, Georgia
Real Estate Transfer Tax
Paid \$ 44.00
Date 2-1-94
JUANITA HICKS
Clerk, Superior Court
By: [Signature]
Deputy Clerk

THIS CONVEYANCE is made subject to all zoning ordinances, easements and restrictions
of record affecting said bargained premises.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantees, as joint tenants and not as tenants in common, for and during their joint lives, and upon the death of either of them, then to the survivor of them in FEE SIMPLE, together with every contingent remainder and right of reversion, and to the heirs and assigns of said survivor

THIS CONVEYANCE is made pursuant to Official Code of Georgia Section 44-6-19, and it is the intention of the parties hereto to hereby create in Grantees a joint tenancy estate with right of survivorship and not as tenants in common.

AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons whomsoever.

IN WITNESS WHEREOF, the Grantor has hereunto set grantor's hand and seal this day and year first above written.

Signed, sealed and delivered in the presence of

Witness

Notary Public
My commission expires



[Signature] (Seal)
J. Troy Hynson

[Signature] (Seal)
Paula B. Hynson

(Seal)

BOOK 179450322

EXHIBIT "A"

BEGINNING at the intersection of the easterly right-of-way of Bohannon Drive (a thirty foot right-of-way) with the westerly right-of-way of Bohannon Road (a sixty foot right-of-way), proceed South 00 degrees, 51 minutes 38 seconds West along the easterly right-of-way of Bohannon Drive a distance of 751.88 feet to an Iron pin; thence proceed North 89 degrees 00 minutes 00 seconds East a distance of 525.55 feet to an Iron pin located on the westerly right-of-way of Bohannon Road; thence proceed North 38 degrees 45 minutes 07 seconds West along the westerly right-of-way of Bohannon Road a distance of 544.47 feet to a point; thence proceed in a northwesterly direction along the westerly right-of-way of Bohannon Road an arc distance of 272.3 feet, and a chord distance of 271.54 feet as measured along a chord bearing of North 30 degrees 38 minutes 11 seconds West to a point, such point being the ORIGINAL POINT OF BEGINNING.

The subject tract or parcel of land contains a total of 4.3 acres and is fully depicted on a plat of survey prepared for J. Troy Hynson and Paula B. Hynson by John R. Christophor, Registered Land Surveyor, dated September 28, 1990. Such plat of survey is, by this reference, incorporated in and made a part hereof.

179458323

*Taken from later Security Deed for clarification of calls**

Deed Book 31897 Pg 536
Juanita Hicks
Clerk of Superior Court
Fulton County, Georgia

EXHIBIT A

PID: 09F-0100-0011-026-6

LEGAL DESCRIPTION:

THE FOLLOWING DESCRIBED PROPERTY BEGINNING AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY OF BOHANNON DRIVE (A THIRTY FOOT RIGHT-OF-WAY) WITH THE WESTERLY RIGHT-OF-WAY OF BOHANNON ROAD (A SIXTY FOOT RIGHT-OF-WAY), PROCEED SOUTH 00 DEGREES, 51 MINUTES 30 SECONDS WEST ALONG THE EASTERLY RIGHT-OF-WAY OF BOHANNON DRIVE A DISTANCE OF 751.56 FEET TO AN IRON PIN; THENCE PROCEED NORTH 89 DEGREES 00 MINUTES 00 SECONDS EAST A DISTANCE OF 525.55 FEET TO AN IRON PIN LOCATED ON THE WESTERLY RIGHT-OF-WAY OF BOHANNON ROAD; THENCE PROCEED NORTH 36 DEGREES 45 MINUTES 07 SECONDS WEST ALONG THE WESTERLY RIGHT-OF-WAY OF BOHANNON ROAD A DISTANCE OF 544.47 FEET TO A POINT; THENCE PROCEED IN A NORTHWESTERLY DIRECTION ALONG THE WESTERLY RIGHT-OF-WAY OF BOHANNON ROAD AN ARC DISTANCE OF 272.3 FEET, AND A CHORD DISTANCE OF 271.54 FEET AS MEASURED ALONG A CHORD BEARING OF NORTH 30 DEGREES 36 MINUTES 11 SECONDS WEST TO A POINT, SUCH POINT BEING THE ORIGINAL POINT OF BEGINNING.

THE SUBJECT TRACT OR PARCEL OF LAND CONTAINS A TOTAL OF 4.3 ACRES AND IS FULLY DEPICTED ON A PLAT OF SURVEY PREPARED FOR J. TROY HYNSON AND PAULA B. HYNSON BY JOHN R. CHRISTOPHER, REGISTERED LAND SURVEYOR, DATED SEPTEMBER 28, 1990.

SUCH PLAT OF SURVEY IS, BY THIS REFERENCE, INCORPORATED IN AND MADE A PART HEREOF SUBJECT TO RESTRICTIONS, RESERVATIONS, EASEMENTS, COVENANTS, OIL, GAS OR MINERAL RIGHTS OF RECORD, IF ANY.

THIS PROPERTY IS OWNED BY OR VESTED IN:
GUY W. LASSITER AND PHILLIS M. LASSITER

LASSITER, GUY
LASSITER, PHILLIS
8355 BOHANNON ROAD
FAIRBURN, GA 30213
FULTON COUNTY, GA

Land Lot: 0100
District: 09F

Exhibit "A"

TRACT 1

All that tract or parcel of land lying and being in Land Lot 11 of the 9th District of Fulton County, Georgia, and being more particularly described as follows:

BEGINNING at an iron pin at the intersection of the Westerly side of Bohannon Road with the Northwesterly side of an old road known as Bohannon Drive; thence running Northerly, along the Westerly side of Bohannon Road, and following the curvature thereof, Four Hundred Forty (440) feet to an iron pin; thence running South 81 degrees West, One Hundred Twenty-Five (125) feet to an iron pin; thence running South 71 degrees, 30 minutes West, Five Hundred Ninety-Five (595) feet to an iron pin; thence running South 11 degrees West, Five Hundred (500) feet to an iron pin at the Northwest corner of property now or formerly owned by E.R. Ellington; thence running North 84 degrees, 25 minutes East along the Northerly line of the said Ellington property, Eight Hundred Thirty (830) feet to an iron pin on the Northwesterly side of that old road known as Bohannon Drive; thence running North 2 degrees East along the Northwesterly side of said old road, Two Hundred Thirty (230) feet to the point of beginning; said property being improved property, having a one-story brick residence thereon, and being more particularly shown on a plat of survey by W.T. Poston, dated April 1, 1965, and being that same property transferred by Warranty Deed, recorded in Deed Book 4404, Page 132, Fulton County, Georgia Records.

TRACT 2

All that tract or parcel of land lying and being in Land Lot 11 of the 9th District of originally Fayette, then Campbell, and now Fulton County, Georgia, containing 2.07 acres as shown on a plat of survey for E.R. Benton, by Steed & Boyd Land Surveyors, dated October, 1970, and being more particularly described as follows:

BEGINNING at an iron pin on the west side of Bohannon Road, said iron pin being located at the northwest corner of the property of Ernest R. Benton; running thence north 86 degrees 32 minutes west, a distance of six hundred twenty two and nine tenths (622.9) feet, to an iron pin, thence south 8 degrees 10 minutes west, a distance of three hundred twenty seven and five tenths (327.5) feet to an iron pin at the northwest corner of the property of Ernest R. Benton; thence north 63 degrees 54 minutes east, along the northwest line of property of Ernest R. Benton, a distance of six hundred six and seven tenths (606.7) feet to an iron pin; thence north 81 degrees 0 minutes east, along the north line of the property of Ernest R. Benton, a distance of one hundred twenty five (125) feet to an iron pin and the point of beginning, and being that same property transferred by Warranty Deed, recorded in Deed Book 5327, Page 331, Fulton County, Georgia Records.

SLEPIAN & SCHWARTZ, LLC
42 EAST BROOK BEND
PEACHTREE CITY, GEORGIA 30269

12-00001

TRUSTEE'S DEED

STATE OF GEORGIA
COUNTY OF FAYETTE

THIS INDENTURE is made as of July 20, 2012, between Mildred R. Kaiser, as Trustee Under the Kaiser Living Trust, Dated June 9, 2011, and any amendments thereto (hereinafter referred to as the "Grantor"), of the State of Georgia and Brian Dickson, (hereinafter referred to as "Grantee") ("Grantor" and "Grantee" to include their respective heirs, successors, executors, administrators, legal representatives and assigns where the context requires or permits).

W I T N E S S E T H

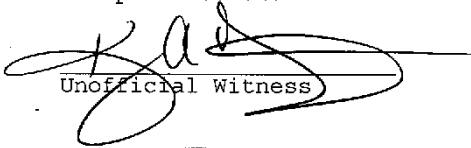
GRANTOR (acting under and by virtue of the power and authority contained in the Kaiser Living Trust, Dated June 9, 2011, for and in consideration of the sum of Ten Dollars (\$10.00) in hand paid at and before the sealing and delivery of these presents (the receipt of which is hereby acknowledged), has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto Grantee,

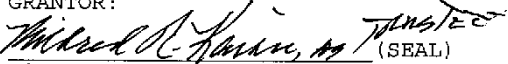
ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 11, 9TH DISTRICT, FULTON COUNTY, GEORGIA RECORDS, BEING IDENTIFIED AS TRACT 1, CONTAINING 8.51 ACRES AS SHOWN ON THAT CERTAIN PLAT OF SURVEY PREPARED BY SA GASKINS & ASSOCIATES, LLC FOR MILDRED KAISER, DATED MAY 31, 2012, SAID PLAT RECORDED IN PLAT BOOK 360, PAGE 117, FULTON COUNTY, GEORGIA RECORDS.

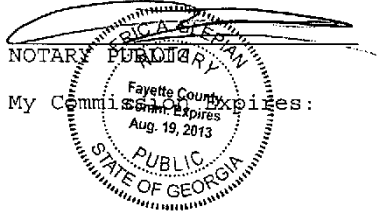
TO HAVE AND TO HOLD the Land with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of Grantee forever, in as full and ample a manner as the same was held, possessed and enjoyed, or might have been held, possessed and enjoyed, by the Trust.

EXECUTED under seal as of the date above.

signed, sealed and delivered in the presence of:


Unofficial Witness

GRANTOR:

Mildred R. Kaiser, as Trustee (SEAL)
Under the Kaiser Living Trust,
Dated June 9, 2011


NOTARY PUBLIC
Fayette County, Georgia
My Commission Expires: Aug. 19, 2013
PUBLIC
STATE OF GEORGIA

SLEPIAN SCHWARTZ & LANDGAARD
42 EASTBROOK BEND
PEACHTREE CITY, GEORGIA 30269
(770) 486-1220
15-0894CK/CINDY

STATE OF GEORGIA
COUNTY OF FAYETTE

LIMITED WARRANTY DEED

THIS INDENTURE made this **8th day of June, 2015**, by and between **MILDRED K. BODE F/K/A MILDRED R. KAISER AS TRUSTEE OR HER SUCCESSORS IN TRUST UNDER THE KAISER LIVING TRUST DATED JUNE 09, 2011**, as party or parties of the first part, hereinafter referred to as "Grantor," and **RICHARD L. BENTON**, as party or parties of the second part, hereinafter referred to as "Grantee";

WITNESSETH:

That Grantor for and in consideration of the sum of TEN DOLLARS, in hand paid, at or before the sealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted, bargained, and conveyed, and by these presents does hereby grant, bargain, and convey unto Grantee, their heirs, successors and assigns, the following described property:

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 11 OF THE 9TH DISTRICT, FULTON COUNTY, GEORGIA, BEING TRACT 1, CONTAINING 2.00 ACRES AS SHOWN ON SURVEY FOR MILDRED KAISER, PREPARED BY S.A. GASKINS & ASSOCIATES, LLC, DATED MAY 31, 2012, AS RECORDED IN PLAT BOOK 360, PAGE 117, FULTON COUNTY, GEORGIA RECORDS, WHICH SAID PLAT BEING INCORPORATED HEREIN BY REFERENCE THERETO.


THIS CONVEYANCE is made subject to all zoning ordinances, easements and restrictions of record affecting said bargained premises.

TO HAVE AND TO HOLD the Property, with all and singular the rights, members and appurtenances thereof, to the same being, belonging or in anywise appertaining to the only proper use, benefit and behoof of Grantee, their heirs, successors and assigns forever, in Fee Simple.

AND THE GRANTOR will warrant and forever defend the right and title to the above-described property unto the Grantee, their heirs, successors and assigns, against the claims of all persons claiming by, through or under Grantor, subject only to the Permitted Exceptions.

IN WITNESS WHEREOF, the Grantor has signed and sealed this deed the day and year first above written.

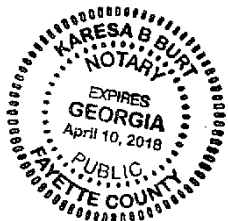
Signed, sealed and delivered in the presence of:



Unofficial Witness


Karesa B Burt

Notary Public
My Commission Expires:

[Notary Seal]




MILDRED K. BODE F/K/A MILDRED R. KAISER AS TRUSTEE OR HER SUCCESSORS IN TRUST UNDER THE KAISER LIVING TRUST DATED JUNE 09, 2011

Deed Book 59582 Pg 397
Filed and Recorded Jan-02-2019 08:44am
2019-0001513
Real Estate Transfer Tax \$269.00
CATHELENE ROBINSON
Clerk of Superior Court
Fulton County, Georgia

Please return to:
Lawson & Beck, LLC
1125 Commerce Drive, Suite 300
Peachtree City, GA 30269
File # 18-LAW-2649

Parcel # 09F-0100-0011-057-1

STATE OF GEORGIA
COUNTY OF FAYETTE

LIMITED WARRANTY DEED

THIS INDENTURE made this 21st day of December, 2018 between

Bryan K. Milam

as party or parties of the first part, hereinafter called Grantor, and

Jonathan William Glisson

as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of TEN DOLLARS and other good and valuable consideration (\$10.00) in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee, the following described property:

All that tract or parcel of land lying and being in Land Lot 11 of the 9th FF District of Fulton County, Georgia, and being more particularly described as follows:

Beginning at a point on the westerly side of the right of way of Bohannon Drive, (having a 30 foot right of way from the center line of said road). A distance of 1290.0 feet South of the southerly right of way of Bohannon Road as measured along the westerly right of way of Bohannon Drive; running thence South 01 degree 15 minutes East along the westerly right of way of Bohannon Drive, a distance of 200.00 feet to a point; running thence South 89 degrees 00 minutes West, a distance of 653.4 feet to a point; running thence North 01 degree 15 minutes West, a distance of 200.00 feet to a point; running thence North 89 degrees 00 minutes East a distance of 653.4 feet to a point on the right of way of Bohannon Drive and the point of beginning.

Subject to restrictive covenants and easements of record.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in FEE SIMPLE.

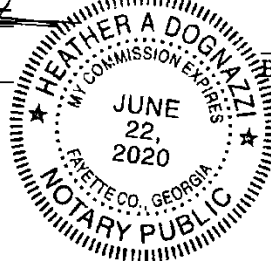
AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons claiming by through or under Grantor.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this first day and year first above written.

Signed, Sealed and delivered in the presence of:

Unofficial Witness

Notary Public



Bryan K. Milam

Deed Book 64719 Page 39
Filed and Recorded 10/27/2021 09:59:00 AM
2021-0329216
CATHELENE ROBINSON
Clerk of Superior Court
Fulton County, GA
Participant IDs: 7339863107
7067927936

After Recording Return To:
McMichael & Gray, P.C.
120 Howard Lane
Fayetteville, GA 30215

Order No.: FAY-210356-REF

Property Appraiser's Parcel I.D. Number:
09F-0100-0011-054-8

LIMITED WARRANTY DEED

STATE OF GEORGIA

COUNTY OF FULTON

THIS INDENTURE, made this October 21, 2021, between

Abigail M Shinstine and Geoffrey Waters

as party or parties of the first part, hereinafter called Grantor, and

Edward Shinstine

as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of Ten And No/100 Dollars (\$10.00) and other good and valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee,

All that tract or parcel of land lying and being in Land Lots 9 and 11 of the 9F District of Fulton County, Georgia, and being more particularly described as follows:

To find the true point of beginning, commence at the intersection of the Northwesterly right-of-way of a Georgia Power Company transmission line easement and the Southwesterly right-of-way line of Bohannon Road (60 foot right-of-way); run thence along said transmission line right-of-way South 66 degrees 01 minutes 22 seconds West 699.35 feet to an iron pin set on the Easterly right-of-way line of Bohannon Drive (30 foot right-of-way); run thence along said Easterly right-of-way line South 01 degrees 21 minutes 15 seconds West 191.54 feet to an iron pin set, which iron pin marks the true point of beginning; run thence South 89 degrees 59 minutes 59 seconds East 372.99 feet to an iron pin set; run thence South 06 degrees 55 minutes 05 seconds West 475.34 feet to an iron pin set; run thence North 89 degrees 59 minutes 59 seconds West 356.90 feet to an iron pin set on the Easterly line of property now or formerly owned by M. Q. Milam; run thence North 01 degrees 21 minutes 15 seconds East along the Easterly line of the said Milam property 298.03 feet to an iron pin set; run thence North 69 degrees 24 minutes 00 seconds East 32.35 feet to an iron pin set on the Easterly right-of-way line of Bohannon Drive; run thence along said Easterly right-of-way line North 01 degrees 21 minutes 15 seconds East 162.59 feet to the true point of beginning; containing 4.000 acres, more or less, and being more particularly shown on Plat Survey prepared by William E. High, Registered Land Surveyor, dated June 15, 2001.

Subject to restrictive covenants and easements of record.


SUBJECT to all zoning ordinances, easements and restrictions of record affecting said premises.

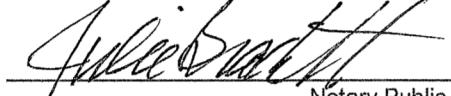
TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in **FEE SIMPLE**.

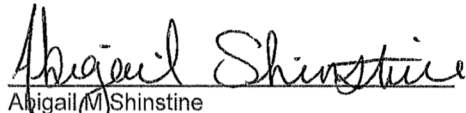
AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons owning, holding or claiming by, through or under the said Grantor.

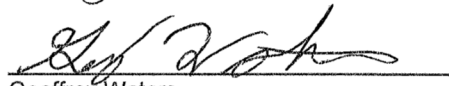
IN WITNESS WHEREOF, the Grantor has signed and sealed this deed, the day and year above written.

Signed, sealed and delivered in the presence of:

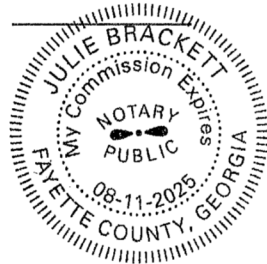

Unofficial Witness


Notary Public


Abigail M. Shinstine


Geoffrey Waters

My Commission Expires: _____
[Notary Seal]



Return Recorded Document to:
The Clifton Law Firm, LLC
10 The Boulevard, Ste 104
Newnan, GA 30263

**LIMITED
WARRANTY DEED**

STATE OF GEORGIA
COUNTY OF FAYETTE

FILE #: 2022-58

THIS INDENTURE made this **29th day of September, 2022**, between **Walter E. Hood** as party or parties of the first part, hereinafter called Grantor, and **Aaron Matthew Shinstine** as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of **TEN AND NO/100 DOLLARS (\$10.00)** and other good and valuable considerations in hand paid, at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee.

SEE EXHIBIT "A," ATTACHED HERETO AND INCORPORATED HEREIN BY REFERENCE.

Parcel No.: 09F010000110647


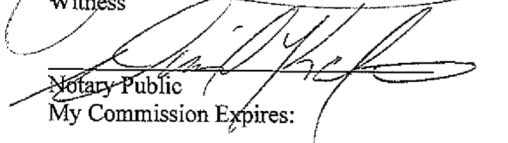
This Deed is given subject to all easements and restrictions of record.

TO HAVE AND TO HOLD the said tract or parcel of land, together with all and singular the rights, members and appurtenances thereof, to the same being, belonging or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee, forever in **FEE SIMPLE**.

AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons by, through and under the above named grantor.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

Signed, sealed and delivered in-presence of:


Witness

Notary Public
My Commission Expires:

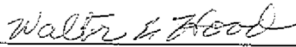

Walter E. Hood



EXHIBIT "A"

All that tract or parcel of land lying in Land Lot 11 of the 9th District, Fulton County, Georgia, being more particularly described as follows:

BEGINNING at a point on the southwesterly side of Bohannan Road two hundred twenty (220) feet northwesterly, as measured along the southwesterly side of Bohannan Road from the point of intersection of the southwesterly side of Bohannan Road with the center line of the Georgia Power Company Plant Yates-Grady No. 2 110 KV Line; thence running northwesterly along the southwesterly side of Bohannan Road two hundred fifty eight (258) feet, more or less, to the center line of a dirt road and the southerly line of property now or formerly owned by N. C. Rivers; thence westerly along the center line of said dirt road and the southerly line of said Rivers Property six hundred eleven (611) feet, more or less, to the east line of property now or formerly owned by Charles Stephens and M. Q. Milan; thence south along the east line of said Stephens and Milan Property, and forming an interior angle of 91 degrees 46 minutes with the preceding course, four hundred ninety eight (498) feet, more or less, to a point which is two hundred twenty (220) feet north from the center line of the above mentioned Georgia Power Company Plant Yates-Grady No. 2 110 KV Line; thence northeasterly seven hundred eighty eight (788) feet to the southwesterly side of Bohannan Road and the point of beginning.

Parcel No. 09F010000110647

****DRAW DEED ONLY****
Return Recorded Document to:
The Clifton Law Firm, LLC
10 The Boulevard, Suite 104
Newnan, GA 30263
File No.: 2023-21

QUIT CLAIM DEED

STATE OF Georgia
COUNTY OF Fayette

This Indenture made this 13 day of May, 2023 between **Bottle Rocket Enterprises, LLC** as party or parties of the first part, hereinafter called Grantor, and **Abigail Shinstine** as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other good and valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, by these presents does hereby remise, convey and forever QUITCLAIM unto the said Grantee, the below described tract or parcel of land more fully and completely described as follows,

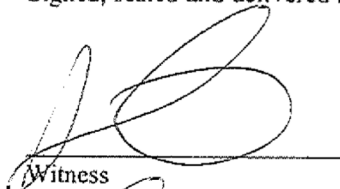
See Exhibit "A," attached hereto and incorporated by reference herein.

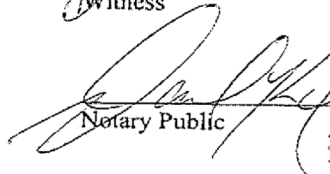
Parcel No.: 09F-0100-0011-056-3

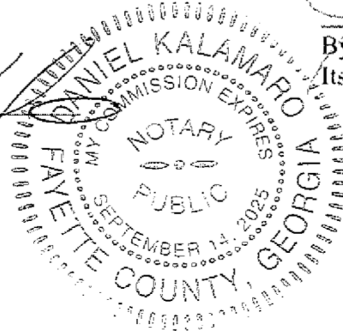
TO HAVE AND TO HOLD the said described premises to Grantee, so that neither Grantor nor any person or persons claiming under Grantor shall at any time, by any means or ways, have, claim or demand any right or title to said premises or appurtenances, or any rights thereof.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

Signed, sealed and delivered in the presence of:


Witness


Notary Public



BOTTLE ROCKET ENTERPRISES, LLC

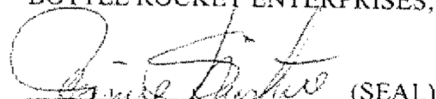
 (SEAL)
By: Jeanine Shinstine
Its: Manager

EXHIBIT "A"

All that tract or parcel of land lying and being in Land Lot 9 and 11 of the 9^F District of Fulton County, Georgia, and being more particularly described as follows:

Beginning at the intersection of the northwesterly right-of-way line of a Georgia Power Company transmission line easement and the southwesterly right-of-way line of Bohannon Road (60 foot right-of-way); run thence South 30 degrees 47 minutes 26 seconds East, along said southwesterly right-of-way line of Bohannon Road, 589.32 feet to a point; continue thence southeasterly along said southwesterly right-of-way line on the arc of a curve to the right 482.29 feet to an iron pin set [said curve having a chord distance of 479.89 feet on a bearing of South 23 degrees 07 minutes 45 seconds East], run thence North 89 degrees 59 minutes 59 seconds West 818.00 feet to an iron pin set; run thence North 06 degrees 55 minutes 05 seconds East 475.34 feet to an iron pin set; run thence North 89 degrees 59 minutes 59 seconds West 372.99 feet to an iron pin set on the easterly right-of-way line of Bohannon Drive (30 foot right-of-way); run thence along said right-of-way line North 01 degrees 21 minutes 15 seconds East 191.54 feet to an iron pin set on the aforesaid northwesterly right-of-way line of the Georgia Power Company transmission line easement; run thence along said right-of-way line North 66 degrees 01 minutes 22 seconds East 699.35 feet to the POINT OF BEGINNING, containing 14.062 acres, more or less, and being more particularly shown on a Plat of Survey prepared by William E. High, Registered Land Surveyor, dated June 13, 2001 and recorded in Deed Book 423, Page 29, Fulton County, Georgia Records.

Return to:
The Clifton Law Firm, LLC
125 Flat Creek Trail, Suite 120
Fayetteville, Georgia 30214
File #2023-21

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS:

That I, **Abigail Shinstine**, a resident of the State of Georgia, being desirous of arranging for the transaction of my business through an attorney in fact, have appointed, named and constituted, and by these presents do name, constitute and appoint **Jeanine Shinstine** as my true and lawful attorney in fact, and do authorize said attorney in fact, for me, and in my name, place and stead:

- (a) To sell, buy, mortgage, encumber, convey, rent, lease, pledge or otherwise dispose of, by deed with or without warranty, bill of sale, contract or otherwise, the following described property to-wit:

See Exhibit "A," attached hereto and incorporated by reference

- (b) To sign, endorse, receive, deposit or issue checks, bonds, notes, stocks or other obligations or instruments, and to borrow money and to secure the same in any manner, relating to and affecting the above described property.
- (c) To collect, sue for, settle, adjust or compromise any claim for money arising by contract or tort, to execute releases, cancellations or satisfactions, relating to and affecting the above described property.

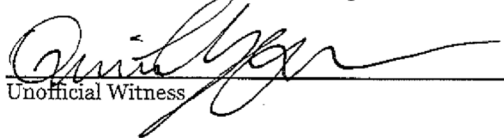
This Power of Attorney shall not be affected by disability or incompetence. This Power of Attorney shall be in effect for and only for the purpose of executing documents relating to the following transaction:

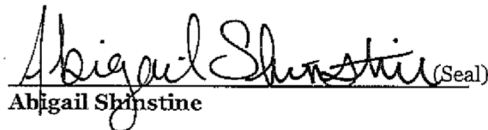
Sale property commonly known as: 9301 Bohannon Road, Fairburn, Georgia 30213.

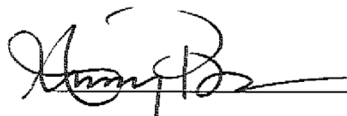
This Power of Attorney shall remain effective until revoked by written instrument recorded in the Office of the Clerk of Superior Court Fulton County, Georgia or will expire at midnight on **May 31, 2023**, whichever occurs first.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal this 10th day of May, 2023.

Signed, sealed and delivered in the presence of:


Unofficial Witness

 (Seal)
Abigail Shinstine



Notary Public

My commission expires: 09/20/2026



EXHIBIT "A"

All that tract or parcel of land lying and being in Land Lot 9 and 11 of the 9F District of Fulton County, Georgia, and being more particularly described as follows:

Beginning at the intersection of the northwesterly right-of-way line of a Georgia Power Company transmission line easement and the southwesterly right-of-way line of Bohannon Road (60 foot right-of-way); run thence South 30 degrees 47 minutes 26 seconds East, along said southwesterly right-of-way line of Bohannon Road, 589.32 feet to a point; continue thence southeasterly along said southwesterly right-of-way line on the arc of a curve to the right 482.29 feet to an iron pin set [said curve having a chord distance of 479.89 feet on a bearing of South 23 degrees 07 minutes 45 seconds East], run thence North 89 degrees 59 minutes 59 seconds West 818.00 feet to an iron pin set; run thence North 06 degrees 55 minutes 05 seconds East 475.34 feet to an iron pin set; run thence North 89 degrees 59 minutes 59 seconds West 372.99 feet to an iron pin set on the easterly right-of-way line of Bohannon Drive (30 foot right-of-way); run thence along said right-of-way line North 01 degrees 21 minutes 15 seconds East 191.54 feet to an iron pin set on the aforesaid northwesterly right-of-way line of the Georgia Power Company transmission line easement; run thence along said right-of-way line North 66 degrees 01 minutes 22 seconds East 699.35 feet to the POINT OF BEGINNING, containing 14.062 acres, more or less, and being more particularly shown on a Plat of Survey prepared by William E. High, Registered Land Surveyor, dated June 13, 2001 and recorded in Deed Book 423, Page 29, Fulton County, Georgia Records.

Tax parcel ID # 09F010000110563

FEE SCHEDULE	
REZONING	\$350/acre, each rezoning up to \$5K
PUBLIC HEARING SIGN	\$31/each

(ALL CHECKS PAYABLE TO THE CITY OF FAIRBURN)

62 Lake Mirror Rd.
Bin 50120
Forest Park, GA 30297



April 18, 2024

RE: 8385 Bohannon Rd
Fairburn, GA 30213
Parcel #'s:
09F010000110654
09F010000110662
09F010000110365
09F010000114227
09F010000110100
09F010000110266
09F010000110571
09F010000110647
09F010000110563
09F010000110548

Dear Jack Cranford:

This letter is to confirm that Georgia Power Company has available capacity and can supply electric service to the location referenced above.

Regards,

Tammy Brantley

Tammy Brantley

Key Account Manager

Subject: FW: Bohannon Road - Fairburn Industrial Site

From: Bechara, Alberto <Alberto.Bechara@fultoncountyga.gov>

Sent: Friday, February 23, 2024 3:01:53 PM

To: Greg Tolan <gtolan@paulsonmitchell.com>; John Wise <jwise@paulsonmitchell.com>

Cc: Jack Cranford <jcranford@strategicrepartners.com>

Subject: RE: FW: Bohannon Road - Fairburn Industrial Site

Greg;

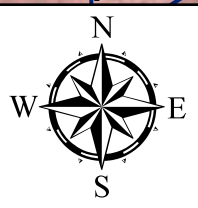
This email serves as a sewer availability and capacity for your proposed three (3) Data Center Bldgs with projected sewer peak flow of approximately 15,000 gpd within Parcel IDs # 09F010000110365 located at 8145 Bohannon road. This proposed development is located in the City of Fairburn Deep Creek/Camp Creek Sewer Basin. The closest Fulton County sanitary sewer manhole SMWW7006900 at the intersection of BOHANNON Road and Landrum Road is the projected connection point for sewer discharge See attached image.

There is a 21-inch Sanitary sewer line that runs to the east on Landrum road south of the proposed development that can service this proposed development once the proposed infrastructure is completed. Please note that this sewer capacity is reserved for your proposed development and will serve for a period of 1 year from the dated email otherwise after the one-year period it will need to be re-evaluated for capacity again. If you have any additional questions, please do not hesitate to call me.



Alberto Bechara, P.E., CPM®
Engineering Administrator
Department of Public Works | Technical Services Division
141 Pryor Street, SW | Suite 6001 | Atlanta GA 30303
404-612-5610 (office)
678-338-1652 (cell)
Connect with Fulton County:
[Website](#) | [Facebook](#) | [Twitter](#) | [Instagram](#) | [FGTV](#) | [#OneFulton E-News](#)

Bohannon Rd



Legend

Water

- Atlanta
- Fairburn
- Private

Fire Hydrants

- Atlanta
- Fairburn
- Private

SSWR

- Fairburn
- Fulton County
- Fairburn Sewer Flow Monitors
- Fairburn Flow Monitor Boundaries

SSWR Pump Stations

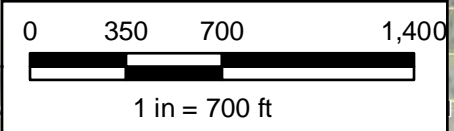
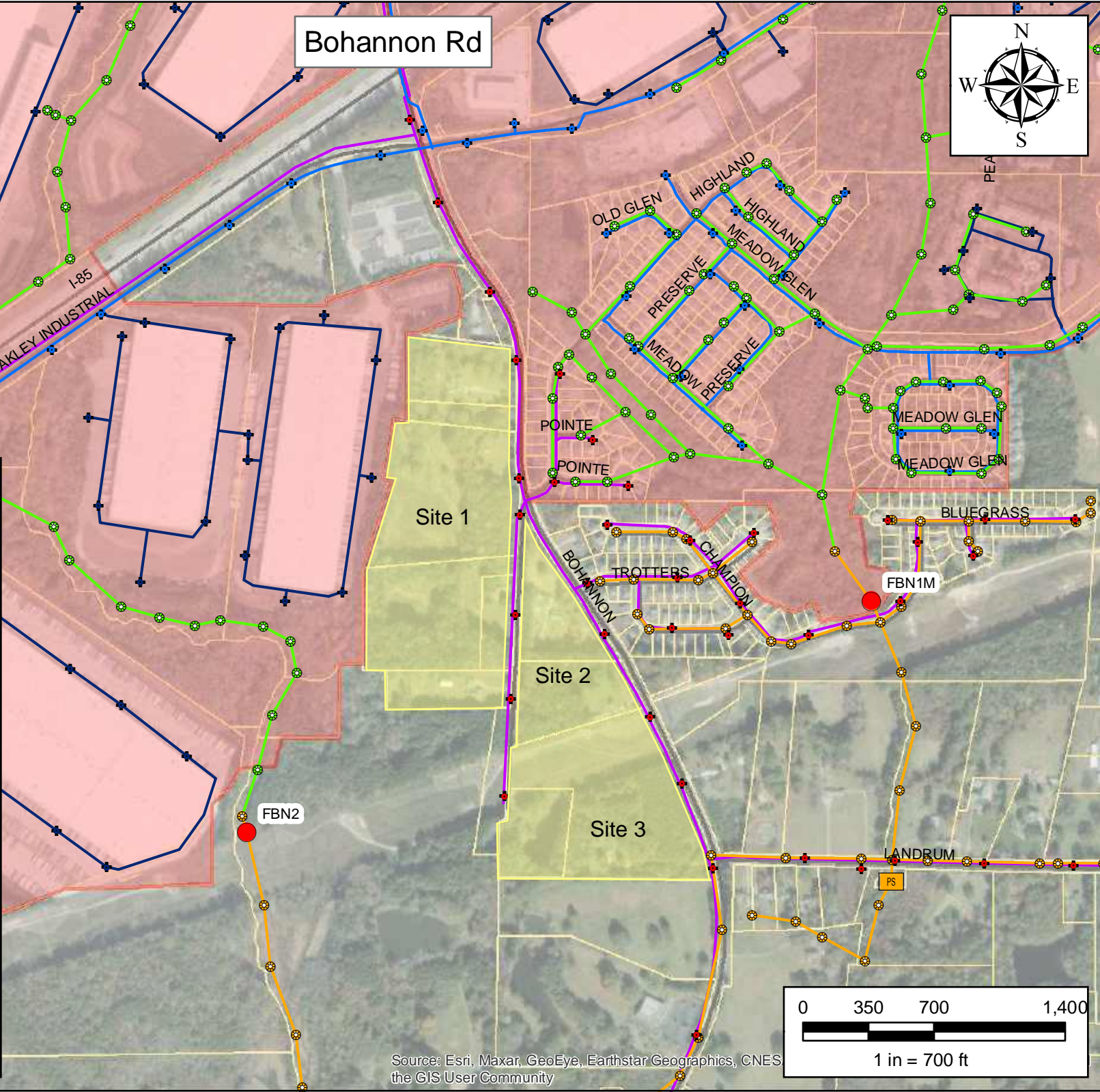
- Unknown
- Fairburn
- Fulton County

SSWR Manholes

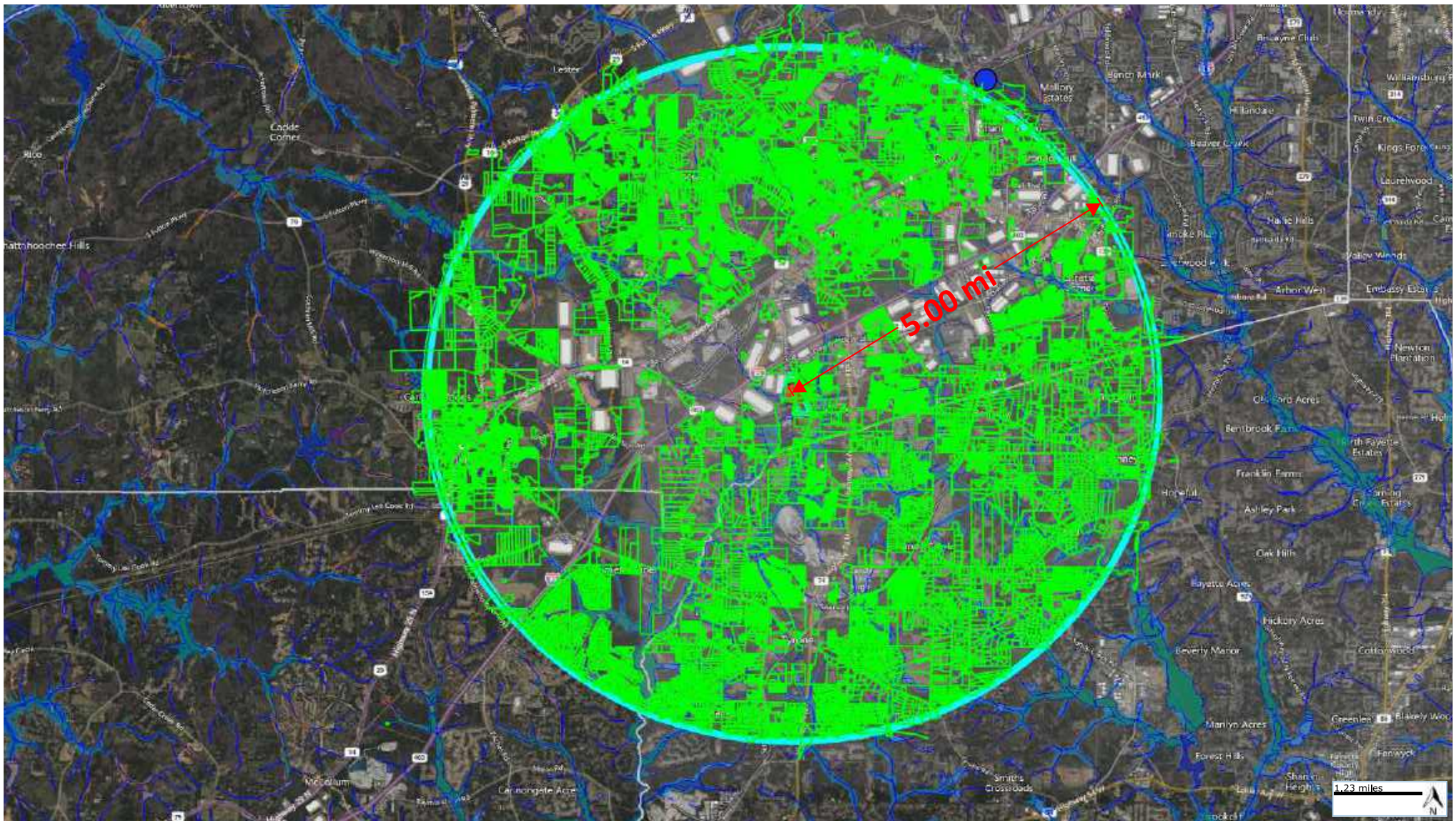
- Fairburn
- Fulton County

Site

- Road
- Parcels



Project Area Map - 5 Mile Radius



Map Legend - Uses Illustrated:

- > Single Family Residential
- > Multifamily Residential
- > School / Educational
- > Places of Worship
- > Parks / Recreational Areas
- > Subject Site
- > Bodies of Water



April 26, 2024

Prepared For: Will Casaday
Bohannon Road Venture, LLC

Prepared By: Tad Hardy, P.E.
Kimley-Horn

Subject: *Fairburn Technology Center – Sound Study
Fairburn, Fulton County, Georgia*

Executive Summary

The purpose of this technical memorandum is to summarize existing noise conditions, potential sources of noise, and potential abatement measures for the proposed Fairburn Technology Center in Fairburn, Fulton County, GA. The proposed data center project site is approximately 2 miles south of downtown Fairburn, approximately 4 miles east of Palmetto, and approximately 3 miles north of Tyrone. The site is generally located south of Oakley Industrial Boulevard and I-85 and west of Bohannon Road. The data center site will be located on undeveloped land as well as land previously occupied by a residence. Industrial properties are located north and west of the site, and residential properties are located east of the site. The location of the proposed Fairburn Technology Center is shown in **Figure 1**.

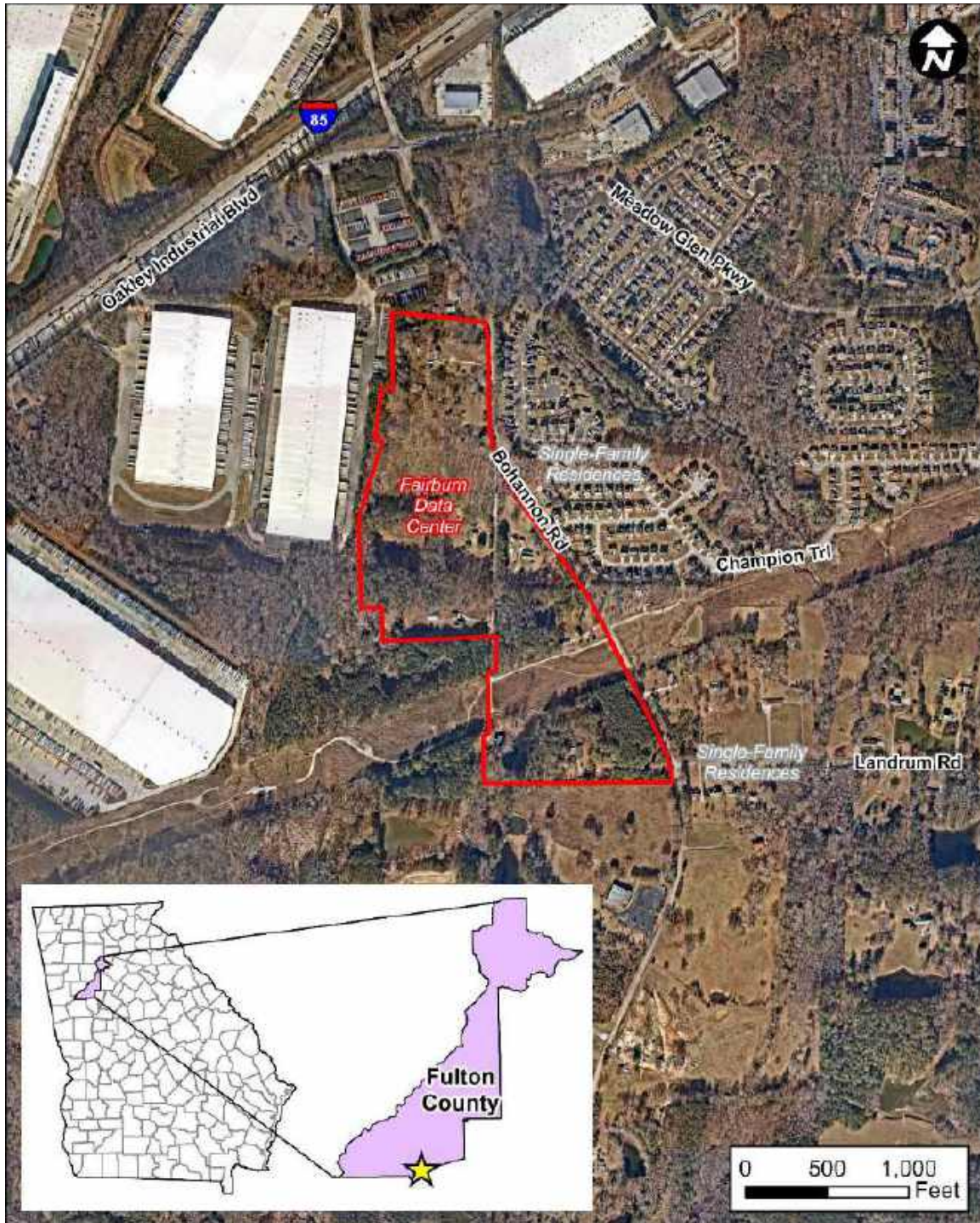
Analysis Findings

- The proposed data center project will be located on undeveloped land and previous residential land with industrial properties north and west of the project site and residential properties east of the project site. The Fairburn Code of Ordinances states that noise levels are not permitted to exceed measured background levels at the nearest noise-sensitive properties. The residences east of the site are assumed to currently be receiving noise contributions from I-85, Oakley Industrial Boulevard, Bohannon Road as well as from industrial land uses west and north of the existing residences. The primary sources of noise at the Fairburn Technology Center are anticipated to be the ventilation/chiller units at each data center building, emergency generators during testing periods or power outages, and the transformers in the proposed substation in the southern portion of the site. A variety of potential noise mitigation measures, such as constructing the site below grade, constructing security/noise walls around the outdoor equipment areas, building orientation, and the use of zoning setbacks and landscape buffers may reduce potential operational noise levels at the residences east of the site.*

Project Description

The proposed Fairburn Technology Center will be developed on approximately 61 acres of land in Fairburn, GA. The site will consist of three (3) data center buildings, approximately 220,00 square feet, 147,500 square feet, and 227,000 square feet in size, respectively. Each data center building is anticipated to have emergency generators and chillers in the Building Systems Areas either west or north of the buildings. Additionally, a substation is proposed south of the data center buildings and west of Bohannon Road.

Figure 1: Site Location and Vicinity



Characteristics of Noise

Noise is generally defined as unwanted sound. It is emitted from many natural and man-made sources. Sound pressure levels are usually measured and expressed in decibels (dB). The decibel scale is logarithmic and expresses the ratio of the sound pressure unit being measured to a standard reference level. Most sounds occurring in the environment do not consist of a single frequency, but rather a broad band of differing frequencies. The intensities of each frequency add together to generate sound. Because the human ear does not respond to all frequencies equally, the method commonly used to quantify environmental noise consists of evaluating all of the frequencies of a sound according to a weighting system. It has been found that the A-weighted decibel [dB(A)] filter on a sound level meter, which includes circuits to differentially measure selected audible frequencies, best approximates the frequency response of the human ear.

The degree of disturbance from exposure to unwanted sound – noise – depends upon three factors:

1. The amount, nature, and duration of the intruding noise
2. The relationship between the intruding noise and the existing sound environment; and
3. The situation in which the disturbing noise is heard

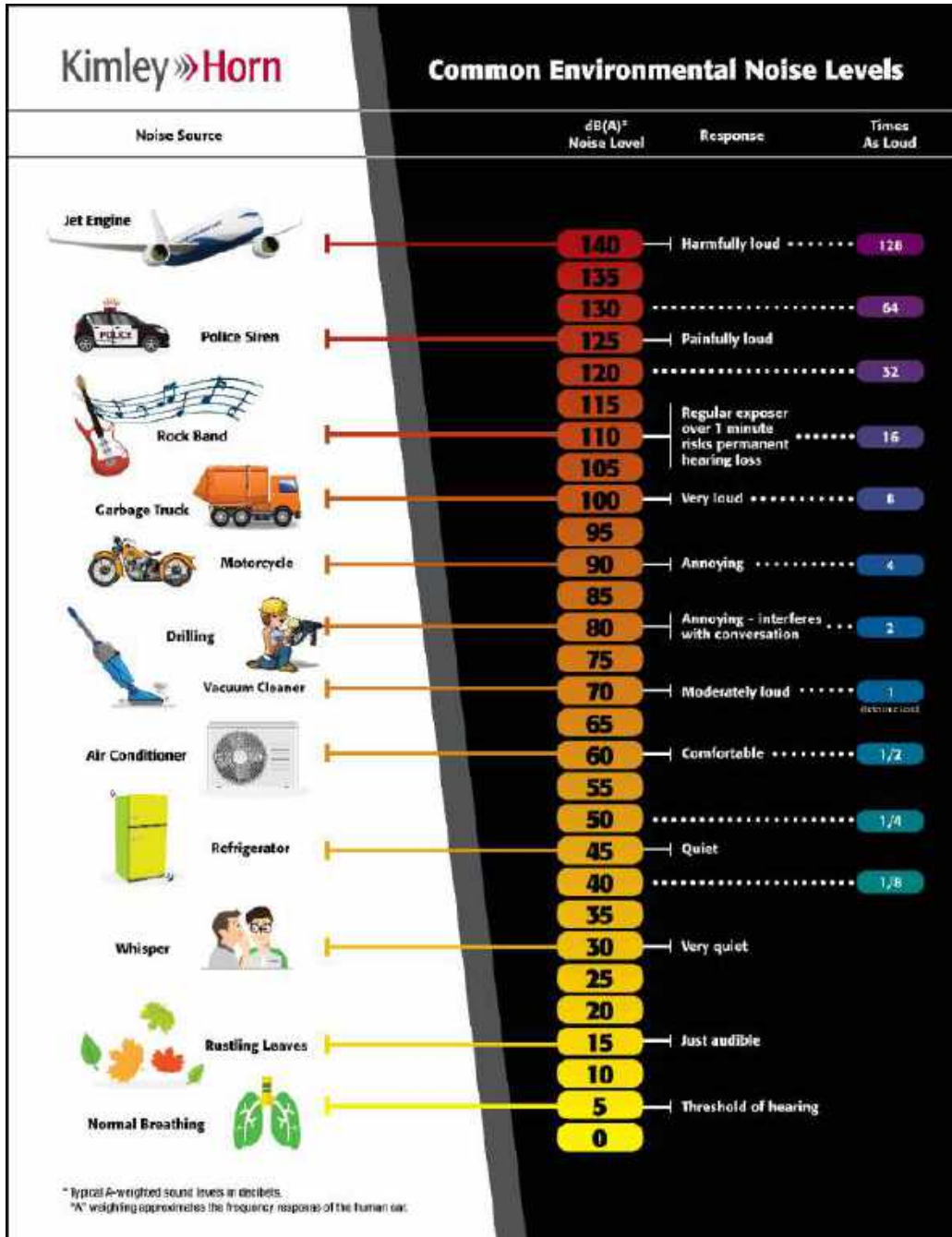
In considering the first of these factors, it is important to note that individuals have varying sensitivity to noise. Loud noises bother some people more than other people, and some individuals become increasingly upset if an unwanted noise persists. The time patterns and durations of noise(s) also affect perception as to whether or not it is offensive. For example, noises that occur during nighttime (sleeping) hours are typically considered to be more offensive than the same noises in the daytime.

With regard to the second factor, individuals tend to judge the annoyance of an unwanted noise in terms of its relationship to noise from other sources (background noise). A car horn blowing at night when background noise levels are low would generally be more objectionable than one blowing in the afternoon when background noise levels are typically higher. The response to noise stimulus is analogous to the response to turning on an interior light. During the daytime an illuminated bulb simply adds to the ambient light, but when eyes are conditioned to the dark of night, a suddenly illuminated bulb can be temporarily blinding.

The third factor – situational noise – is related to the interference of noise with activities of individuals. In a 60 dB(A) environment such as is commonly found in a large business office, normal conversation would be possible, while sleep might be difficult. Loud noises may easily interrupt activities that require a quiet setting for greater mental concentration or rest; however, the same loud noises may not interrupt activities requiring less mental focus or tranquility.

As shown in **Figure 2**, most individuals are exposed to fairly high noise levels from many sources on a regular basis. To perceive sounds of greatly varying pressure levels, human hearing has a non-linear sensitivity to sound pressure exposure. Doubling the sound pressure results in a three decibel change in the noise level; however, variations of three decibels [3 dB(A)] or less are commonly considered “barely perceptible” to normal human hearing. A five decibel [5 dB(A)] change is more readily noticeable. A ten-fold increase in the sound pressure level correlates to a 10 decibel [10 dB(A)] noise level increase; however, it is judged by most people as only sounding “twice as loud”.

Figure 2: Common Noise Levels



Over time, individuals tend to accept the noises that intrude into their lives on a regular basis. However, exposure to prolonged and/or extremely loud noise(s) can prevent use of exterior and interior spaces and has been theorized to pose health risks.

Local Regulations

The Fairburn Technology Center is in Fairburn, Fulton County, GA. A proposed amendment to Chapter 80, Article IV, Section 80-241 of the Fairburn Code of Ordinances states that “noise testing shall be required prior to issuance of a Certificate of Occupancy to ensure compliance with the noise ordinance. The data center must be designed and built with noise mitigation such that noise levels at the property line during operation do not exceed those of the baseline study completed prior to construction of the first building. The data center operator must submit an annual third-party noise study to the city every year for the first seven years of operation. This study must demonstrate no increase in property line noise levels out of compliance with the city ordinance.”

Numeric decibel sound level limits are not provided in the Fairburn Code of Ordinances, and background noise levels have not yet been established.

Existing and Anticipated Noise Contributions

Existing Noise Contributions

The residences east of the proposed Fairburn Technology Center are likely experiencing existing noise levels from a variety of contributing sources in surrounding areas. For example, two existing distribution/logistics centers are located west of the residential area, and an additional two distribution/logistics centers are located north of the residential area. Sources of noise from these facilities may include rooftop HVAC units, employee vehicle movements and parking, truck deliveries and movements, and loading/unloading operations. All of these industrial noise sources are assumed to currently be contributing to the noise environment at the residences east of the proposed Fairburn Technology Center.

Additionally, traffic from nearby roadways, such as Bohannon Road, I-85, and Oakley Industrial Boulevard are anticipated to be contributing to the existing noise environment at the residences east of the proposed site. I-85 is within 2,000 feet of the residences nearest the proposed site and based on data provided from the Georgia Department of Transportation (GDOT) Traffic Analysis and Data Application (TADA), is anticipated to have approximately 88,000 vehicles passing along this section of the road each day. Bohannon Road is as close as 30 feet from the nearest residence east of the proposed site and has an estimated 1,900 vehicles traveling along it daily. Additionally, Oakley Industrial Boulevard is within 1,500 feet of the residences nearest the proposed site and was assumed to have approximately 16,400 vehicles traveling along it daily.

The combination of various industrial noise sources, as well as the traffic noise from nearby roadways, are anticipated to contribute to the existing noise levels at the residences east of the proposed data center site.

Anticipated Noise Contributions

The Fairburn Technology Center proposes three (3) separate data center buildings, as well as a substation south of the data center buildings. Typical sources of noise from data center facilities include emergency generators and ventilation/chiller units. An additional source of noise from the site

would be the transformers that are typically found within substations. The equipment that is anticipated on site typically generates steady, unvarying sound that may be noticeable when located near noise-sensitive areas and may contribute to the existing noise environment.

Noise Abatement Measures

In order to reduce potential noise levels at the residential land uses east of the proposed Fairburn Technology Center, several mitigation strategies are being considered or may be implemented as part of the project.

Passive noise abatement measures are effective because they absorb sound energy, extend the source-to-receptor sound transmission path, or both. Sound absorption is a function of abatement medium (e.g. earth berms absorb more sound energy than noise walls of the same height because earth berms are more massive). The source-to-receptor path is extended by placement of an obstacle, such as an earth berm or concrete wall, that sufficiently blocks the transmission of sound waves that travel from the source to the receptor.

The development plans proactively take noise abatement into consideration by constructing the data center site and its equipment below the grade, west of Bohannon Road. This can act as an effective noise abatement measure by absorbing sound energy and extending the source-to-receptor sound transmission path. Similarly, walls around the proposed outdoor equipment areas, for screening, security, or noise abatement specifically, can both absorb sound energy and extend the source-to-receptor sound transmission paths to varying extents depending on the size and material of the walls. Furthermore, the proposed building orientation, zoning setbacks, and landscape buffers are likely to provide additional means for noise abatement.

It should be noted that all of the potential noise abatement measures mentioned above could also assist with shielding some noise from the existing industrial land uses surrounding the project site.

Conclusions

The site is generally located south of Oakley Industrial Boulevard and I-85 and west of Bohannon Road. The data center site will be located on undeveloped land as well as land previously occupied by a residence. Industrial properties are located north and west of the site, and residential properties are located east of the site.

It is anticipated that the residential properties east of the site are exposed to existing noise levels from several noise sources, such as adjacent roadways and industrial facilities. The use of chillers, emergency generators, and transformers are could potentially contribute to the ambient noise environment in the area, once the data center is operational. However, a variety of noise abatement measures such as constructing buildings below grade, constructing walls around the outdoor equipment areas, orienting buildings in a noise-compatible manner, and utilizing proposed zoning setbacks and landscape buffers can assist with reducing the site's contribution to the noise environment.



USE PERMIT APPLICATION



APPLICANT'S CHECKLIST

DOCUMENTS AND QUANTITIES REQUIRED

**ALL PERTINENT ITEMS ARE DUE AT THE TIME OF FILING.
NO INCOMPLETE APPLICATION WILL BE ACCEPTED.**

Applications will not be accepted after 3:00 p.m.

ITEM #	REQUIRED ITEM	NUMBER OF COPIES	CHECK ✓
1.	Site Plan Checklist	1 copy See Zoning Application	✓
2.	Application Form	1 original and 1 copy	✓
3.	Survey	2 copies	✓
4.	Legal Description (8½ "x 11")	2 copies	✓
5.	Deed	2 copies	✓
6.	Letter of Intent	5 copies; plus 1 additional copy if project includes a DRI or MARTA review	✓
7.	Site Plan	5 copies; plus 1 additional copy if project includes a DRI or MARTA review	✓
8.	Disclosure Form(s)	2 copies	✓
9.	Public Participation Program	2 copies of the Report and Plan See Zoning Application	✓
THE FOLLOWING ITEMS MAY BE REQUIRED. SEE THE FOLLOWING INFORMATION FOR DETAILS.			
10.	Use Permit Considerations	5 copies	
11.	Traffic Impact Study	2 copies	
12.	Development of Regional Impact Review Form (DRI)	2 copies	
13.	Noise Study Report	2 copies See Zoning Application	✓

PREAPPLICATION REVIEW MEETING: Prior to submitting an application, all are encouraged to meet with the Planning and Zoning Office who will review the applicant's proposal and site plan. No pre-application review meeting will be held on the day of the filing deadline. Applicants are required to bring the site plan and tax parcel identification number(s) to the meeting. Call 770-964-2244 to make an appointment.

REQUIRED ITEMS FOR USE PERMIT APPLICATIONS:

- ITEM 1. **SITE PLAN CHECKLIST:** The site plan checklist details the minimum requirements for site plans as specified by Chapter 62, Article V. The Building Process.
- ITEM 2. **APPLICATION FORM:** Original and notarized signatures of the property owner(s) and applicant(s) or a notarized statement by the applicant as to ownership are required. If a contract is used in lieu of the owner's signature, the signature on the contract must be an original and the contract must be valid for the duration of the rezoning process. See the application form for additional details.
- ITEM 3. **SURVEY:** An accurate, to scale, up-to-date certified survey of the property shown with metes and bounds must be submitted with the Use Permit Application. The survey should include existing thoroughfares;

existing drainage areas; existing buildings, structures and facilities; existing utilities on or adjacent to the property; and ownership, zoning and uses of all property adjacent to or within 200 feet of the property.

- ITEM 4. **LEGAL DESCRIPTION:** The legal description must be a *metes and bounds* description of the property that establishes a point of beginning and gives directions (bounds) and distances (metes) of property lines. If the property consists of more than one parcel, all parcels must be combined into one legal description.
- ITEM 5. **DEED:** A copy of the deed which matches the applicant’s name or a copy of the letter indicating a closing and the recordation of a new deed.
- ITEM 6. **LETTER OF INTENT:** The Letter of Intent should state the requested use permit(s) and should include factual details about the proposed use(s), such as number and square footages of buildings, number of residential units, minimum heated floor area of residential units, number of fixed seats in places of worship, number of employees and beds in assisted living facilities, personal care homes and nursing homes, number of employees and students in day care facilities, number of classrooms and number of students in schools, hours of operation, and number and use of playing fields.
- ITEM 7. **SITE PLAN:** Site plans must meet the minimum requirements specified by Chapter 62, Article V. The Building Process of the City of Fairburn Ordinance. Refer to Site Plan Checklist.
- ITEM 8. **DISCLOSURE FORM:** If the owner, applicant and/or applicant’s representative has made a campaign contribution to any member of City Council for \$250.00 or more within the past 2 years, Sections 1 through 4 of the Disclosure Form must be completed. If no contributions have been made, *No* should be circled and Section 4 of the form completed.
- ITEM 9: **PUBLIC PARTICIPATION PROGRAM:** Public Participation Program consists of a two-part process designed to enhance dialogue between applicants and communities which may be impacted by a proposed development, Part 1: The Public Participation Plan and Part 2: The Public Participation Report.

OTHER DOCUMENTS THAT MAY BE REQUIRED:

- ITEM 10. **IMPACT ANALYSIS:** The application must include an Impact Analysis.
- ITEM 11. **TRAFFIC IMPACT STUDY:** When a project equals or exceeds the thresholds listed below, a traffic impact study must be submitted. The traffic impact study shall be prepared by a qualified traffic engineer or transportation planner in accordance with professional practices and the guidelines available in the Department of Public Works.

Thresholds for Traffic Impact Study	
Use	Size
Single family residential	500 new lots
Multifamily residential	700 new units
Office	300,000 square feet
Hospital	375 beds
Commercial	175,000 square feet
Hotel/Motel	600 rooms
Industrial	500,000 square feet
Any planned developments that exceeds 500 peak hour trips as based on the standards of the Institute of Transportation Engineers (ITE) Handbook.	

- ITEM 12. **DEVELOPMENT OF REGIONAL IMPACT (DRI):** The Department of Community Affairs (DCA) has formulated development thresholds as listed below. When a development meets or exceeds the thresholds, the Atlanta Regional Commission (ARC) and the Georgia Regional Transportation Authority (GRTA) shall review the project concurrently. Applicants shall first file the rezoning/use permit request

with City of Fairburn. After the ARC/GRTA findings are complete, the rezoning/use permit will be placed on the next available agenda. It is the applicant's responsibility to contact and follow all ARC and GRTA review procedures. For details visit the ARC at www.atlantaregional.com and GRTA at www.grta.org/dri/home.htm or call ARC or GRTA at 404-463-3100.

ITEM 13. **NOISE STUDY REPORT:** Any proposed use located within 1,000 feet of an expressway or within 3,000 feet of an active rail line.

Effective March 1, 2014 DEVELOPMENTS OF REGIONAL IMPACT Tiers and Development Thresholds	
Type of Development	Metropolitan Region
Office	Greater than 400,000 gross square feet
Commercial	Greater than 300,000 gross square feet
Wholesale & Distribution	Greater than gross 500,000 square feet
Hospitals and Health Care Facilities	Greater than 300 new beds; or generating more than 375 peak hour vehicle trips per day
Housing	Greater than 400 new lots or units
Industrial	Greater than 500,000 gross square feet; or employing more than 1,600 workers; or covering more than 400 acres
Hotels	Greater than 400 rooms
Mixed Use	Gross square feet greater than 400,000 (with residential units calculated at either 1,800 square feet per unit or, if applicable, the minimum square footage allowed by local development regulations); or covering more than 120 acres; or if any of the individual uses meets or exceeds a threshold as identified herein
Airports	All new airports, runways and runway extensions
Attractions and Recreational Facilities	Greater than 1,500 parking spaces or a seating capacity of more than 6,000
Post Secondary Schools	New school with a capacity of more than 2,400 students; or expansion by at least 25 percent of capacity
Waste Handling Facilities	New facility or expansion of use of an existing facility by 50 percent or more
Quarries, Asphalt and Cement Plants	New facility or expansion of existing facility by more than 50 percent
Wastewater Treatment Facilities	New major conventional treatment facility or expansion of existing facility by more than 50 percent; or community septic treatment facilities exceeding 150,000 gallons per day or serving a development project that meets or exceeds an applicable threshold as identified herein
Petroleum Storage Facilities	Storage greater than 50,000 barrels if within 1,000 feet of any water supply; otherwise, storage capacity greater than 200,000 barrels
Water Supply Intakes/Public Wells/Reservoirs/Treatment Facilities	New facilities
Intermodal Terminals	New facilities
Truck Stops	A new facility with more than three (3) diesel fuel pumps, or containing a half acre of truck parking or 10 truck parking spaces
Correctional/Detention Facilities	Greater than 300 new beds; or generating more than 375 peak hour vehicle trips per day

Effective March 1, 2014 DEVELOPMENTS OF REGIONAL IMPACT Tiers and Development Thresholds	
Type of Development	Metropolitan Region
Any other development types not identified above (includes parking facilities)	1,000 parking spaces or, if available, more than 5,000 daily trips generated

MEETINGS AND PUBLIC HEARINGS:

- A) **The Planning and Zoning Commission (PZC)** holds a meeting on the first Tuesday of each month at 7:00 PM at Fairburn City Hall, 56 Malone Street, Fairburn, GA 30291. The Planning and Zoning Commission makes recommendations that are forwarded to the Mayor and City Council.
- B) **City Council** holds a public hearing on the second and fourth Monday of each month at 7:00 p.m. at Fairburn City Hill located at 56 Malone Street, Fairburn, GA 30213.

PUBLIC NOTICE:

- A) **Planning and Zoning Commission Meeting (PZC) and Mayor and City Council (MCC) Public Hearing Notice:** Signs posted along the frontages of properties subject to rezonings and/or use permits notify area residents of the Planning and Zoning Commission meeting and City Council public hearing. Applicants are required to post signs in conspicuous places along the property’s public street frontage(s) no later than 15 days before the City Council public hearing. Failure to post the signs properly, in accordance with instructions given to applicants at the time of filing, will result in delaying action on the petition until the next available appropriate hearing date. **THERE ARE NO EXCEPTIONS TO PROPERLY POSTING THESE SIGNS.**

If an applicant, prior to advertising, defers a petition, it is the responsibility of the applicant to contact the Planning and Zoning Office at 770-964-2244 to pick up new signs and re-post the property.

When a petition is continued by City Council, posting an updated sign is not required. However, the date on the sign must be changed to reflect the continued hearing date.

Within 30 days of City Council final action the applicant shall remove and properly dispose of all public hearing/meeting signage.

- B) **Adjacent Property Owner Notice:** By U. S. Mail, notices are sent to all property owners within a 500 feet of properties subject to the use permit(s). Said notices are mailed 15 days prior to the City Council public hearing to property owners of record as shown on the current tax records of Fulton County as retrieved by the Geographic Information System.

STAFF ANALYSIS:

A staff analysis for each petition is available on the Friday before each public hearing after 12 noon. Copies are available at the Planning and Zoning Office at 26 West Campbellton Street and on the City’s website at **www.fairburn.com**.



APPLICATION FOR USE PERMIT

City of Fairburn
Community Development Department
26 W. Campbellton Street
Fairburn, GA 30213

Date Received: _____

USE PERMIT#: _____
(Office Use Only)

APPLICANT INFORMATION

Applicant Name: Bohannon Road Venture, LLC c/o Troutman Pepper Hamilton Sanders LLP
Address: 600 Peachtree Street, NE, Suite 3000, Atlanta, GA 30308
Phone: (404) 885-3348 Cell: (803) 730-8134 Fax: _____
Email Address: henry.bailey@troutman.com

OWNER INFORMATION (If different from Applicant)

Owner Name: See attached list.
Address: See attached list.
Phone: N/A Cell: N/A Fax: _____
Email Address: N/A

PROPERTY INFORMATION

Address: See attached list.
Parcel ID#: See attached list. Land Lot: 9, 11 & 28 District: 9F

SECTION 1

USE PERMIT REQUEST

Office use only:
USE PERMIT CASE # _____ ROAD FRONTAGE: _____

Under the provisions of Chapter 80, Article IV of the Zoning Ordinance, application is hereby made to obtain a Use Permit as follows:

CURRENT ZONING: AG - 1

USE PERMIT REQUEST: Data Center and Utility Substation, concurrently with rezoning to M-1

SECTION II

OWNER/PETITIONER

NOTICE: Part 1 and/or Part 2 below must be signed and notarized when the petition is submitted. Please complete Section IV as follows:

- a) If you are the sole owner of the property and not the petitioner complete Part 1.
- b) If you are the petitioner and not the sole owner of the property complete Part 2.
- c) If you are the sole owner and petitioner complete Part 1.
- d) If there are multiple owners each must complete a separate Part 1 and include it in the application.

Part 1. Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.

Richard L Benton
TYPE OR PRINT OWNER'S NAME

Sworn to and subscribed before me this the

8125 Bohannon Drive
ADDRESS

_____ Day of _____ 20 _____

Fairburn, GA 30213
CITY & STATE ZIP CODE

NOTARY PUBLIC

OWNER'S SIGNATURE

PHONE NUMBER

N/A
EMAIL ADDRESS

PART 2. Petitioner states under oath that: (1) he/she is the executor or Attorney-in-fact under a Power-of-Attorney for the owner (attach a copy of the Power-of-Attorney letter and type name above as "Owner"); (2) he/she has an option to purchase said property (attach a copy of the contract and type name of owner above as "Owner"); or (3) he/she has an estate for years which permits the petitioner to apply (attach a copy of lease and type name of owner above as "Owner").

Bohannon Road Venture, LLC (c/o Will Casaday)
TYPE OR PRINT PETITIONER'S NAME

Sworn to and subscribed before me this the

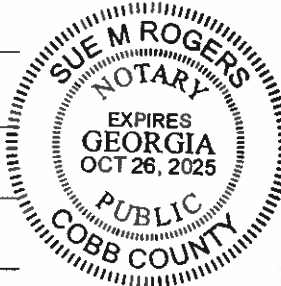
3715 Northside Pkwy, Suite 4-425
ADDRESS

22ND Day of April 20 24

Atlanta, GA 30327
CITY & STATE ZIP CODE

Sue M Rogers
NOTARY PUBLIC

Will Casaday
PETITIONER'S SIGNATURE



(404) 885-3348
PHONE NUMBER

henry.bailey@troutman.com
EMAIL ADDRESS

SECTION V

ATTORNEY / AGENT

Check One: [] Attorney [] Agent

TYPE OR PRINT ATTORNEY / AGENT NAME

EMAIL ADDRESS

SIGNATURE OF ATTORNEY / AGENT

PHONE NUMBER

ADDRESS

PETITIONER'S SIGNATURE

CITY & STATE ZIP CODE

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Catherine Benton
 TYPE OR PRINT OWNER'S NAME

8145 Bohannon Road
 ADDRESS

Fairburn, GA 30213
 CITY & STATE ZIP CODE

 OWNER'S SIGNATURE

N/A
 EMAIL ADDRESS

Sworn to and subscribed before me this the _____ Day of _____ 20____

 NOTARY PUBLIC

 PHONE NUMBER

PART 2. Petitioner states under oath that: (1) he/she is the executor or Attorney-in-fact under a Power-of-Attorney for the owner (attach a copy of the Power-of-Attorney letter and type name above as "Owner"); (2) he/she has an option to purchase said property (attach a copy of the contract and type name of owner above as "Owner"); or (3) he/she has an estate for years which permits the petitioner to apply (attach a copy of lease and type name of owner above as "Owner").

Bohannon Road Venture, LLC (c/o Will Casaday)
 TYPE OR PRINT PETITIONER'S NAME

3715 Northside Pkwy, Suite 4-425
 ADDRESS

Atlanta, GA 30327
 CITY & STATE ZIP CODE

Will Casaday
 PETITIONER'S SIGNATURE

henry.bailey@troutman.com
 EMAIL ADDRESS



Sworn to and subscribed before me this the 23rd Day of April 2024

Sue M Rogers
 NOTARY PUBLIC

(404) 885-3348
 PHONE NUMBER

SECTION V

ATTORNEY / AGENT

Check One: [] Attorney [] Agent

 TYPE OR PRINT ATTORNEY / AGENT NAME

 SIGNATURE OF ATTORNEY / AGENT

 ADDRESS

 CITY & STATE ZIP CODE

 EMAIL ADDRESS

 PHONE NUMBER

 PETITIONER'S SIGNATURE

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Part 1. Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.

Brian Dickson
 TYPE OR PRINT OWNER'S NAME

8155 Bohannon Drive Rear Lot
 ADDRESS

Fairburn, GA 30213
 CITY & STATE ZIP CODE

 OWNER'S SIGNATURE

N/A
 EMAIL ADDRESS

Sworn to and subscribed before me this the _____ Day of _____ 20____

 NOTARY PUBLIC

 PHONE NUMBER

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Bohannon Road Venture, LLC (c/o Will Casaday)
 TYPE OR PRINT PETITIONER'S NAME

3715 Northside Pkwy, Suite 4-425
 ADDRESS

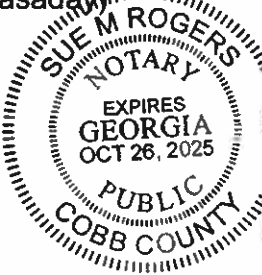
Atlanta, GA 30327
 CITY & STATE ZIP CODE

Will Casaday
 PETITIONER'S SIGNATURE

henry.bailey@troutman.com
 EMAIL ADDRESS

Sworn to and subscribed before me this the 22nd Day of April 2024

Sue M Rogers
 NOTARY PUBLIC



(404) 885-3348
 PHONE NUMBER

SECTION V

ATTORNEY / AGENT

Check One: Attorney Agent

 TYPE OR PRINT ATTORNEY / AGENT NAME

 SIGNATURE OF ATTORNEY / AGENT

 ADDRESS

 CITY & STATE ZIP CODE

 EMAIL ADDRESS

 PHONE NUMBER

 PETITIONER'S SIGNATURE

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Part 1. Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.

Jonathan William Glisson
TYPE OR PRINT OWNER'S NAME

Sworn to and subscribed before me this the _____ Day of _____ 20____

8156 Bohannon Drive
ADDRESS

Fairburn, GA 30213
CITY & STATE ZIP CODE

NOTARY PUBLIC

OWNER'S SIGNATURE

PHONE NUMBER

N/A
EMAIL ADDRESS

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Bohannon Road Venture, LLC (c/o Will Casaday)
TYPE OR PRINT PETITIONER'S NAME

Sworn to and subscribed before me this the

3715 Northside Pkwy, Suite 4-425
ADDRESS

22ND Day of April 2024

Atlanta, GA 30327
CITY & STATE ZIP CODE



Sue M. Rogers
NOTARY PUBLIC

[Signature]
PETITIONER'S SIGNATURE

(404) 885-3348
PHONE NUMBER

henry.bailey@troutman.com
EMAIL ADDRESS

SECTION V

ATTORNEY / AGENT

Check One: Attorney Agent

TYPE OR PRINT ATTORNEY / AGENT NAME

EMAIL ADDRESS

SIGNATURE OF ATTORNEY / AGENT

PHONE NUMBER

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CITY & STATE ZIP CODE

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Guy W. & Phyllis M. Lassiter
TYPE OR PRINT OWNER'S NAME

Sworn to and subscribed before me this the

8355 Bohannon Road
ADDRESS

_____ Day of _____ 20_____

Fairburn, GA 30213
CITY & STATE ZIP CODE

NOTARY PUBLIC

OWNER'S SIGNATURE

PHONE NUMBER

N/A
EMAIL ADDRESS

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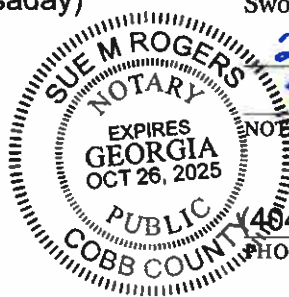
Bohannon Road Venture, LLC (c/o Will Casaday)
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3715 Northside Pkwy, Suite 4-425
ADDRESS

22ND Day of April 2024

Atlanta, GA 30327
CITY & STATE ZIP CODE



Sue M Rogers
NOTARY PUBLIC

[Signature]
PETITIONER'S SIGNATURE

(404) 885-3348
PHONE NUMBER

henry.bailey@troutman.com
EMAIL ADDRESS

SECTION V

ATTORNEY / AGENT

Check One: Attorney Agent

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SECTION II

OWNER/PETITIONER

NOTICE: Part 1 and/or Part 2 below must be signed and notarized when the petition is submitted. Please complete Section IV as follows:

- a) If you are the sole owner of the property and not the petitioner complete Part 1.
- b) If you are the petitioner and not the sole owner of the property complete Part 2.
- c) If you are the sole owner and petitioner complete Part 1.
- d) If there are multiple owners each must complete a separate Part 1 and include it in the application.

Part 1. Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.

Aaron Matthew Shinstine
 TYPE OR PRINT OWNER'S NAME

8365 Bohannon Road
 ADDRESS

Fairburn, GA 30213
 CITY & STATE ZIP CODE

 OWNER'S SIGNATURE

N/A
 EMAIL ADDRESS

Sworn to and subscribed before me this the _____ Day of _____ 20____

 NOTARY PUBLIC

 PHONE NUMBER

PART 2. Petitioner states under oath that: (1) he/she is the executor or Attorney-in-fact under a Power-of-Attorney for the owner (attach a copy of the Power-of-Attorney letter and type name above as "Owner"); (2) he/she has an option to purchase said property (attach a copy of the contract and type name of owner above as "Owner"); or (3) he/she has an estate for years which permits the petitioner to apply (attach a copy of lease and type name of owner above as "Owner").

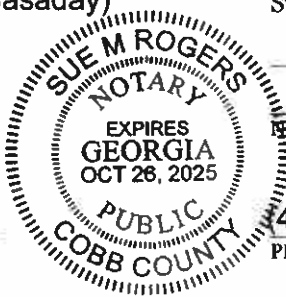
Bohannon Road Venture, LLC (c/o Will Casaday)
 TYPE OR PRINT PETITIONER'S NAME

3715 Northside Pkwy, Suite 4-425
 ADDRESS

Atlanta, GA 30327
 CITY & STATE ZIP CODE

[Signature]
 PETITIONER'S SIGNATURE

henry.bailey@troutman.com
 EMAIL ADDRESS



Sworn to and subscribed before me this the 22ND Day of April 2024

[Signature]
 NOTARY PUBLIC

(404) 885-3348
 PHONE NUMBER

SECTION V

ATTORNEY / AGENT

Check One: Attorney Agent

 TYPE OR PRINT ATTORNEY / AGENT NAME

 SIGNATURE OF ATTORNEY / AGENT

 ADDRESS

 CITY & STATE ZIP CODE

 EMAIL ADDRESS

 PHONE NUMBER

 PETITIONER'S SIGNATURE

SECTION II

OWNER/PETITIONER

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Part 1. Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.

Abigail Shinstine

TYPE OR PRINT OWNER'S NAME

9301 Bohannon Road

ADDRESS

Fairburn, GA 30213

CITY & STATE

ZIP CODE

Sworn to and subscribed before me this the

_____ Day of _____ 20____

NOTARY PUBLIC

OWNER'S SIGNATURE

PHONE NUMBER

N/A

EMAIL ADDRESS

PART 2. Petitioner states under oath that: (1) he/she is the executor or Attorney-in-fact under a Power-of-Attorney for the owner (attach a copy of the Power-of-Attorney letter and type name above as "Owner"); (2) he/she has an option to purchase said property (attach a copy of the contract and type name of owner above as "Owner"); or (3) he/she has an estate for years which permits the petitioner to apply (attach a copy of lease and type name of owner above as "Owner").

Bohannon Road Venture, LLC (c/o Will Casaday)

TYPE OR PRINT PETITIONER'S NAME

3715 Northside Pkwy, Suite 4-425

ADDRESS

Atlanta, GA 30327

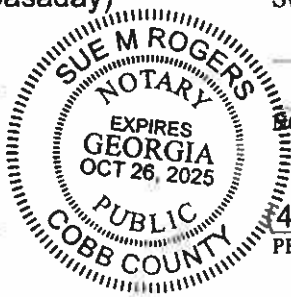
CITY & STATE

ZIP CODE

Sworn to and subscribed before me this the

22ND Day of April 2024

Sue M Rogers
NOTARY PUBLIC



[Signature]

PETITIONER'S SIGNATURE

henry.bailey@troutman.com

EMAIL ADDRESS

(404) 885-3348

PHONE NUMBER

SECTION V

ATTORNEY / AGENT

Check One: Attorney Agent

TYPE OR PRINT ATTORNEY / AGENT NAME

EMAIL ADDRESS

SIGNATURE OF ATTORNEY / AGENT

PHONE NUMBER

ADDRESS

PETITIONER'S SIGNATURE

CITY & STATE ZIP CODE

SECTION II

OWNER/PETITIONER

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Part 1. Owner states under oath that he/she is the owner of the property described in the attached legal description, which is made part of this application.

Edward Shinstine
TYPE OR PRINT OWNER'S NAME

Sworn to and subscribed before me this the

8385 Bohannon Road
ADDRESS

_____ Day of _____ 20____

Fairburn, GA 30213
CITY & STATE ZIP CODE

NOTARY PUBLIC

OWNER'S SIGNATURE

PHONE NUMBER

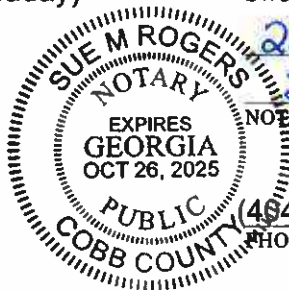
N/A
EMAIL ADDRESS

PART 2. Petitioner states under oath that: (1) he/she is the executor or Attorney-in-fact under a Power-of-Attorney for the owner (attach a copy of the Power-of-Attorney letter and type name above as "Owner"); (2) he/she has an option to purchase said property (attach a copy of the contract and type name of owner above as "Owner"); or (3) he/she has an estate for years which permits the petitioner to apply (attach a copy of lease and type name of owner above as "Owner").

Bohannon Road Venture, LLC (c/o Will Casaday)
TYPE OR PRINT PETITIONER'S NAME

Sworn to and subscribed before me this the

3715 Northside Pkwy, Suite 4-425
ADDRESS



22ND Day of April 2024

Atlanta, GA 30327
CITY & STATE ZIP CODE

Sue M Rogers
NOTARY PUBLIC

Will Casaday
PETITIONER'S SIGNATURE

(404) 885-3348
PHONE NUMBER

henry.bailey@troutman.com
EMAIL ADDRESS

SECTION V

ATTORNEY / AGENT

Check One: [] Attorney [] Agent

TYPE OR PRINT ATTORNEY / AGENT NAME

EMAIL ADDRESS

SIGNATURE OF ATTORNEY / AGENT

PHONE NUMBER

ADDRESS

PETITIONER'S SIGNATURE

CITY & STATE ZIP CODE



USE PERMIT CONSIDERATIONS

Applicant: Bohannon Road Venture, LLC

Analyze the impact of the proposed use permit with the following questions:

1. Whether the proposed use is consistent with the comprehensive land use plan adopted by the City Council? See attached LOI.

2. Compatibility with land uses and zoning districts in the vicinity of the property for which the use permit is proposed? _____

3. Whether the proposed use may violate local, state, and/or federal statutes, ordinances or regulations governing land development? _____

4. The effects of the proposed use on traffic flow, vehicular and pedestrian, along adjoining streets? _____

5. The location and number of off-street parking spaces? _____

6. The amount and location of open spaces? _____

7. Protective screening? _____

8. Hours and manner of operation? _____

9. Outdoor lightning? _____

10. Ingress and egress to the property? _____

Attach additional sheets as needed.



DISCLOSURE REPORT

Office use only:

USE PERMIT PETITION #: _____ CITY COUNCIL MEETING DATE: _____

Within the (2) years immediately preceding the filing of this zoning petition have you, as the applicant, owner and/or opponent for the use permit petition, or an attorney or agent of the applicant or opponent for the use permit petition, made any campaign contributions aggregating \$250.00 or more or made gifts having an aggregate value of \$250.00 to a member of City Council.

CIRCLE ONE: YES **NO**

If the answer is *YES*, proceed to sections 1 through 4.
If the answer is *NO*, complete only section 4.

1. **CIRCLE ONE:** Party to Petition In Opposition to Petition

If party to petition, complete sections 2, 3, and 4 below.
If in opposition, proceed to sections 3 and 4 below.


2. List all individuals or business entities which have an ownership interest in the property which is the subject of this use permit petition: _____

3. CAMPAIGN CONTRIBUTIONS:

Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) Bohannon Road Venture, LLC (William M Casaday)

Signature:  Date: 4/19/24



PUBLIC PARTICIPATION PROGRAM

Public Participation Program consists of a two-part process designed to enhance dialogue between applicants and communities which may be impacted by a proposed development.

Part 1 of the process is the Public Participation Plan which is required with all rezoning and/or use permit applications. The plan must be filed simultaneously with the application and implemented before the first public hearing. The minimum standards for the plan are as follows:

- Identification of all property owners within 500 feet of the site and area homeowners' associations, environmentally stressed communities, political jurisdictions, and any other public agencies or organizations which may be affected by an application as determined by the applicant and the current planner at the time of the pre-application review
- Explanation of how interested parties will be informed of rezoning/use permit applications
- Methods for providing opportunities for discussion with interested parties before public hearings are held. Applicants are required to schedule at least one meeting at a convenient location and time and notify all interested parties, as identified above of the purpose, place and time of the meeting.
- Applicant's schedule for completion of the Public Participation Plan

Part 2 of the Public Participation Program is the Public Participation Report which is due per the attached schedule. The minimum standards for the Report are as follows:

- Provide a list of all parties that were contacted, the methods of notification that were used, and copies of all notification letters.
- Provide dates and locations of all community and/or other meetings that were attended by the applicant to discuss an application. (Attach meeting notices, letters, etc.)
- Provide the number of people who participated in meetings held to discuss an application. (Attach sign-in sheets)
- A summary of concerns and issues expressed by interested parties.
- A summary of the applicant's response to concerns and issues.

PUBLIC PARTICIPATION PLAN

Applicant: _____

1. The following individuals (property owners within 500 feet of the property), homeowner's associations, political jurisdictions, other public agencies, etc., will be notified:

2. The individuals and others listed in 1. above will be notified of the requested rezoning/use permit using the following method(s): (e.g., letters, meeting notices, telephone calls, e-mails, etc.)

3. Individuals and others listed in 1. above will be allowed to participate in the following manner: (At least one meeting at a convenient time and location is required.)

Attach additional sheets as needed.

PUBLIC PARTICIPATION PLAN REPORT

Applicant: _____ Petition No. _____

Date: _____

1. The following parties were notified of the requested rezoning/use permit:

2. The following meetings were held regarding this petition: (Include the date, time, and meeting location.)

3. The following issues and concerns were expressed:

4. The applicant's response to issues and concerns was as follows:

5. Applicants are required to attach copies of sign-in sheets from meetings as well as meeting announcements, i.e., notices, flyers, letters, and any other documentation which supports the opportunity for public input.

Attach additional sheets as needed.

SITE PLAN CHECKLIST

Site plans for use permit petitions must be folded, drawn to scale, no larger than 30" x 42", and shall, at a minimum, include the following information:

ITEM #	DESCRIPTION	CHECK √
1	An accurate, up-to-date and certified survey of the property	✓
2	Name, address, phone number, and fax number of the owner, the developer and the designer who prepared the plan.	✓
3	Vicinity map with North arrow showing the property in relation to the general area	✓
4	Acreage of subject property	✓
5	Location of land lot lines and identification of land lots	✓
6	Existing, proposed new dedicated and future reserved rights-of-way of all streets, roads, and railroads adjacent to and on the subject property; Proposed streets on the subject site	✓
7	Current zoning of the subject site with required and/or proposed setbacks and adjoining properties	✓
8	Total are of the site, and the areas of the proposed to be devoted to impervious surfaces	✓
9	Proposed off-site layout including buildings, drives, parking, walkways, landscaped-areas, tree save area, buffers, easements, utilities and any other features necessary to properly present the development	✓
10	Layout and minimum lot size of proposed single-family residential lots	N/A
11	Topography on subject site	✓
12	Required landscape strips, undisturbed buffers, and any other natural areas as required or proposed	✓
13	Required and proposed parking spaces; Loading and unloading facilities	✓
14	Wetlands, lakes, streams and other waters on the site and associated buffers including the 100 year flood-plain, if appropriate.	✓
15	Proposed stormwater management facilities	✓
16	Architectural elevations to show the intended architectural character of the proposed building and the nature of the materials to be used.	✓

Office use only:

Application reviewed by: _____

Staff signature: _____ Date: _____

Community Development/
Planning and Zoning

Staff printed name: _____

The undersigned acknowledges that the site plan is submitted in accordance with Chapter 62, Article V - The Building Process of the City of Fairburn Code of Ordinance and failure to comply shall render my application incomplete which may result in delay in the process of this application.

Applicant signature: 

Date: 5/1/24

Applicant printed name: Bohannon Road Venture, LLC
(William M. Casaday)

FEE SCHEDULE	
USE PERMIT	\$500 each
PUBLIC HEARING SIGN	\$31 each

Methods of payment: Cash, Money Order and Credit Cards (except American Express)

(MAKE CHECKS PAYABLE TO THE CITY OF FAIRBURN)

Developments of Regional Impact

[DRI Home](#)[DRI Rules](#)[Thresholds](#)[Tier Map](#)[FAQ](#)[Apply](#)[View Submissions](#)[Login](#)

DEVELOPMENT OF REGIONAL IMPACT Initial DRI Information

This form is to be completed by the city or county government to provide basic project information that will allow the RDC to determine if the project appears to meet or exceed applicable DRI thresholds. Refer to both the [Rules for the DRI Process](#) and the [DRI Tiers and Thresholds](#) for more information.

Local Government Information

Submitting Local Government:

City of Fairburn

Individual completing form:

Chancellor Felton

Telephone:

678-353-4017

E-mail:

cfelton@fairburn.com

*Note: The local government representative completing this form is responsible for the accuracy of the information contained herein. If a project is to be located in more than one jurisdiction and, in total, the project meets or exceeds a DRI threshold, the local government in which the largest portion of the project is to be located is responsible for initiating the DRI review process.

Proposed Project Information

Name of Proposed Project:

Fairburn Technology Center

Location (Street Address, GPS Coordinates, or Legal Land Lot Description):

8125 Bohannon Drive
Fairburn, GA 30213

Brief Description of Project:

Proposed 1,190,000 SF of data center space in three (3) buildings on an approximately 59.6-acre site.

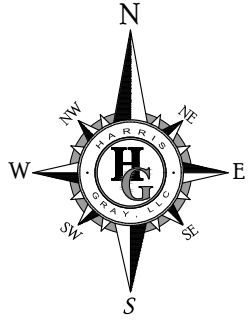
Development Type:

- (not selected) Hotels Wastewater Treatment Facilities
- Office Mixed Use Petroleum Storage Facilities
- Commercial Airports Water Supply Intakes/Reservoirs
- Wholesale & Distribution Attractions & Recreational Facilities Intermodal Terminals
- Hospitals and Health Care Facilities Post-Secondary Schools Truck Stops
- Housing Waste Handling Facilities Any other development types
- Industrial Quarries, Asphalt & Cement Plants

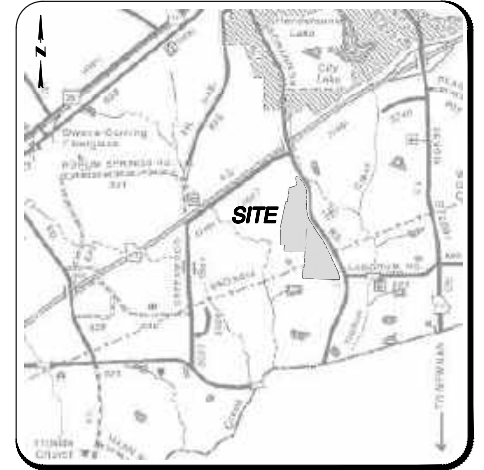
If other development type, describe:

Project Size (# of units, floor area, etc.):	1,190,000 SF of data center space in three (3) buildings
Developer:	Bohannon Road Venture, LLC.
Mailing Address:	600 Peachtree St NE, Suite 3000
Address 2:	
City:	Atlanta
State:	GA
Zip:	30308
Telephone:	(770) 714-4592
Email:	william.casaday@gmail.com
Is property owner different from developer/applicant?	<input type="radio"/> (not selected) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If yes, property owner:	Richard L Benton, Catherine Benton, Brian Dickson, Jonathan William Glisson, Guy & Phyllis Lassiter, Aaron Matthew Shinstine, Bottle Rocket Enterprises, LLC, and Edward Shinstine
Is the proposed project entirely located within your local government's jurisdiction?	<input type="radio"/> (not selected) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If no, in what additional jurisdictions is the project located?	
Is the current proposal a continuation or expansion of a previous DRI?	<input type="radio"/> (not selected) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, provide the following information:	Project Name: <input type="text"/> Project ID: <input type="text"/>
The initial action being requested of the local government for this project:	<input checked="" type="checkbox"/> Rezoning <input type="checkbox"/> Variance <input type="checkbox"/> Connect Sewer <input type="checkbox"/> Connect Water <input type="checkbox"/> Permit <input type="checkbox"/> Other <input type="text"/>
Is this project a phase or part of a larger overall project?	<input type="radio"/> (not selected) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, what percent of the overall project does this project/phase represent?	<input type="text"/>
Estimated Project Completion Dates:	This project/phase: 2028 Overall project: 2028
<input type="button" value="Submit Application"/> <input type="button" value="Save without Submitting"/> <input type="button" value="Cancel"/>	
Back to Top	

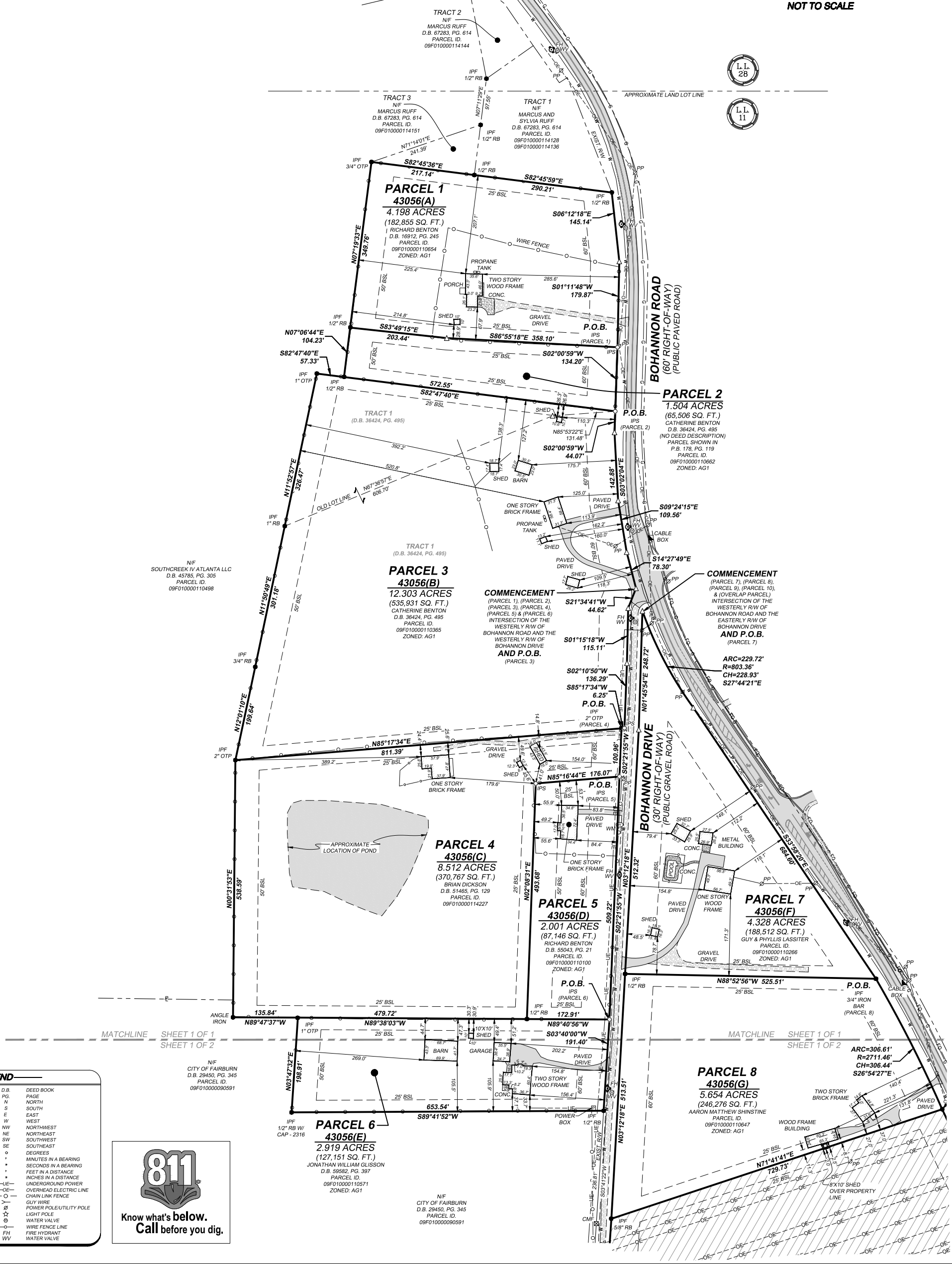
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BASIS OF BEARING
GEORGIA STATE PLANE
COORDINATE SYSTEM
GRID NORTH - GA WEST ZONE



VICINITY MAP
NOT TO SCALE



LEGEND	
○	IRON PIN SET - 1/2" REBAR
●	IRON PIN FOUND - AS NOTED
IPF	IRON PIN SET
IPF	IRON PIN FOUND
△	CALCULATED POINT
CTP	CRIMP TOP PIPE
OTF	OPEN TOP PIPE
RB	REBAR
EXIST	EXISTING
P.O.B.	POINT OF BEGINNING
(123.45)	RECORDED DISTANCE
RW	RIGHT OF WAY
PL	PROPERTY LINE
CL	CENTERLINE
G	GAS LINE
FO	FIBEROPTIC LINE
X	WIRE FENCE
PP	POWER POLE
LP	LIGHT POLE
WM	WATER METER
⊕	WATER VALVE
NTS	LINE NOT TO SCALE
⊕	FIRE HYDRANT
D.B.	DEED BOOK
PG.	PAGE
N	NORTH
S	SOUTH
E	EAST
W	WEST
NW	NORTHWEST
NE	NORTHEAST
SW	SOUTHWEST
SE	SOUTHEAST
°	DEGREES
'	MINUTES IN A BEARING
"	SECONDS IN A BEARING
+	FEET IN A DISTANCE
*	INCHES IN A DISTANCE
—	UNDERGROUND POWER
—	OVERHEAD ELECTRIC LINE
—	CHAIN LINK FENCE
—	GUY WIRE
—	POWER POLE/UTILITY POLE
—	LIGHT POLE
—	WATER VALVE
—	WIRE FENCE LINE
—	FIRE HYDRANT
—	WATER VALVE

DATE	REVISIONS	BY

HARRIS GRAY, LLC
ENGINEERS • SURVEYORS • PLANNERS
CERTIFICATE OF AUTHORIZATION NO. LSF 001188
824 THIRD AVENUE • WEST POINT, GEORGIA 31833
PHONE: (706) 645 - 5885

ALTA/NSPS LAND TITLE SURVEY FOR
KRATER COMPANIES, LLC AND CHICAGO TITLE INSURANCE COMPANY

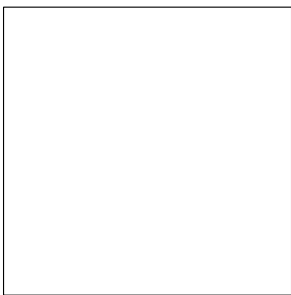
LAND LOTS 9, 11 & 28, 9F DISTRICT
CITY OF FAIRBURN, FULTON COUNTY, GEORGIA

DATE	12/21/2023
DRAWN BY	RLW
CHKD BY	BSG
FIELD CREW	MP
FILE NAME	KCL ALTA
JOB NO.	GA230320
DWG. SCALE	1" = 100'

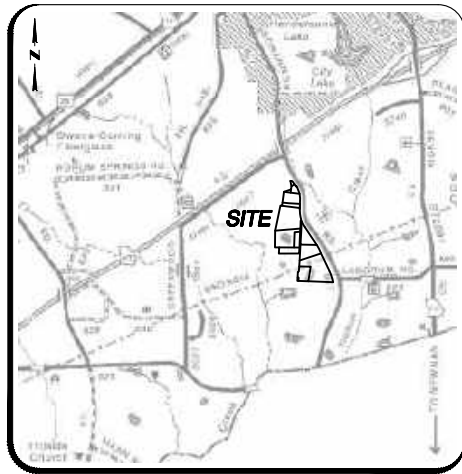
THIS PLAT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL.

GRAPHIC SCALE
0 50 100 200 300

REGISTERED LAND SURVEYOR
B. SHAWN GRAY
NO. 2879
STATE OF GEORGIA



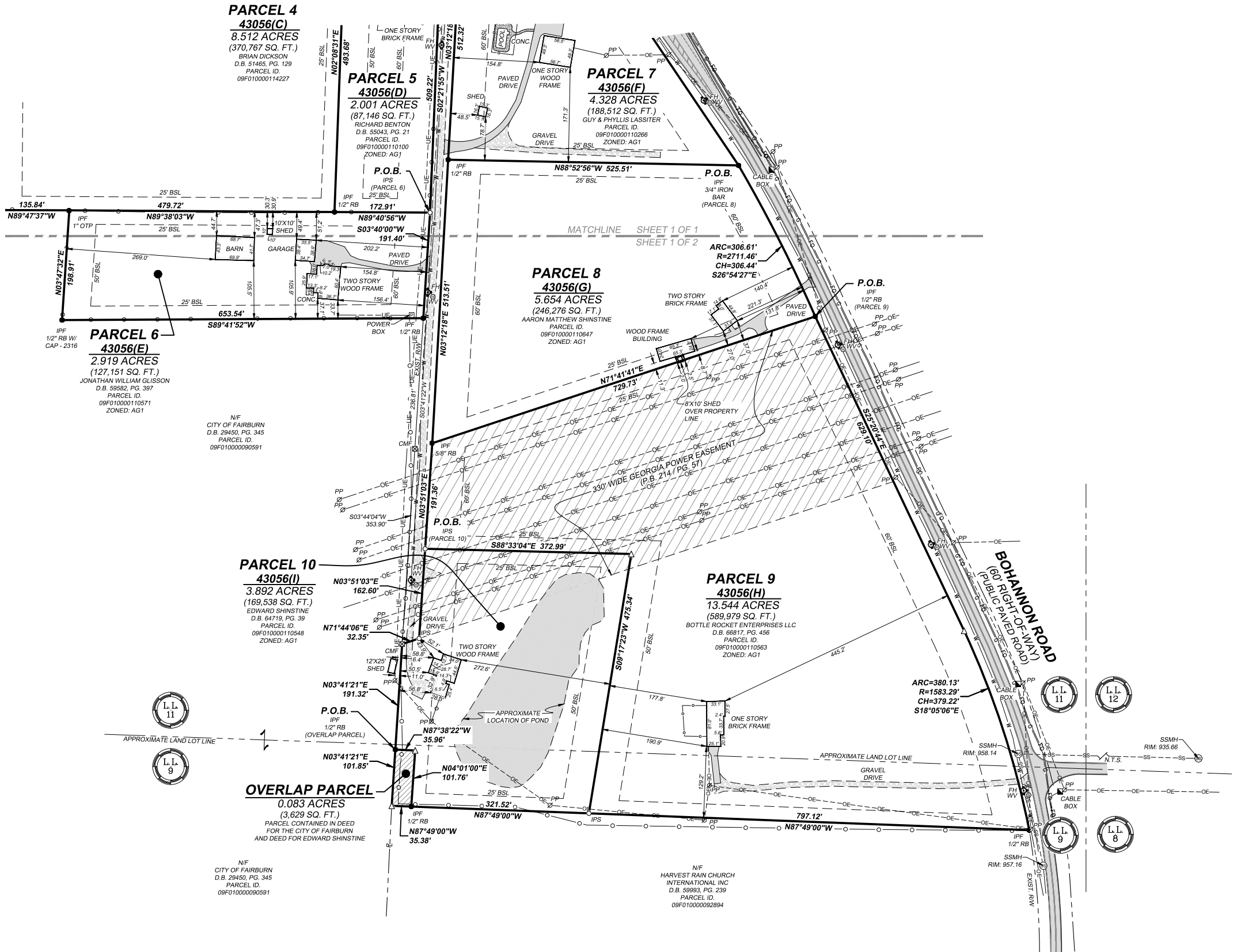
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VICINITY MAP NOT TO SCALE



BASIS OF BEARING GEORGIA STATE PLANE COORDINATE SYSTEM GRID NORTH - GA WEST ZONE



PARCEL 4 43056(C) 8.512 ACRES (370,767 SQ. FT.) BRIAN DICKSON D.B. 51465, PG. 129 PARCEL ID. 09F010000114227

PARCEL 5 43056(D) 2.001 ACRES (87,146 SQ. FT.) RICHARD BENTON D.B. 55043, PG. 21 PARCEL ID. 09F010000110100 ZONED: AG1

PARCEL 7 43056(F) 4.328 ACRES (188,512 SQ. FT.) GUY & PHYLLIS LASSITER PARCEL ID. 09F010000110286 ZONED: AG1

PARCEL 8 43056(G) 5.654 ACRES (246,276 SQ. FT.) AARON MATTHEW SHINSTINE PARCEL ID. 09F010000110647 ZONED: AG1

PARCEL 6 43056(E) 2.919 ACRES (127,151 SQ. FT.) JONATHAN WILLIAM GLESSON D.B. 55582, PG. 397 PARCEL ID. 09F010000110571 ZONED: AG1

PARCEL 10 43056(I) 3.892 ACRES (169,538 SQ. FT.) EDWARD SHINSTINE D.B. 64719, PG. 39 PARCEL ID. 09F010000110548 ZONED: AG1

PARCEL 9 43056(H) 13.544 ACRES (589,979 SQ. FT.) BOTTLE ROCKET ENTERPRISES LLC D.B. 68817, PG. 456 PARCEL ID. 09F010000110563 ZONED: AG1

OVERLAP PARCEL 0.083 ACRES (3,629 SQ. FT.) PARCEL CONTAINED IN DEED FOR THE CITY OF FAIRBURN AND DEED FOR EDWARD SHINSTINE



LEGEND

- Legend symbols and definitions: IRON PIN SET - 1/2" REBAR, IRON PIN FOUND - AS NOTED, CALCULATED POINT, CRIMP TOP PIPE, OPEN TOP PIPE, REBAR, EXIST, P.O.B. (123.45), R/W, PROPERTY LINE, CENTERLINE, GAS LINE, CABLE / FIBEROPTIC LINE, WIRE FENCE, POWER POLE, LIGHT POLE, WATER METER, WATER METER, FIRE HYDRANT, DEED BOOK, PAGE, NORTH, SOUTH, EAST, WEST, NORTHWEST, NORTHEAST, SOUTHWEST, SOUTHEAST, DEGREES, MINUTES IN A BEARING, SECONDS IN A BEARING, FEET IN A DISTANCE, INCHES IN A DISTANCE, UNDERGROUND POWER, OVERHEAD ELECTRIC LINE, CHAIN LINK FENCE, GUY WIRE, POWER POLE/UTILITY POLE, LIGHT POLE, WATER VALVE, WIRE FENCE LINE, FIRE HYDRANT, WATER VALVE.



Table with columns: DATE, REVISIONS, BY

HARRIS GRAY, LLC ENGINEERS SURVEYORS PLANNERS CERTIFICATE OF AUTHORIZATION NO. LSF 001188 824 THIRD AVENUE • WEST POINT, GEORGIA 31833 PHONE: (706) 645 - 5885

ALTA/NSPS LAND TITLE SURVEY FOR KRATER COMPANIES, LLC AND CHICAGO TITLE INSURANCE COMPANY LAND LOTS 9, 11 & 28, 9F DISTRICT CITY OF FAIRBURN, FULTON COUNTY, GEORGIA

Table with columns: DATE, DRAWN BY, CHKD BY, FIELD CREW, FILE NAME, JOB NO., DWG. SCALE

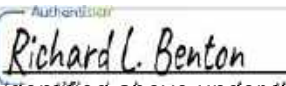
THIS PLAT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL. GRAPHIC SCALE 0 50 100 200 300




CITY OF FAIRBURN
 CLUP COMPREHENSIVE PLAN | AMENDMENT APPLICATION

PROJECT INFORMATION	
Project Name	
Project Address	
Project Parcel Numbers	
PROPERTY OWNER INFORMATION (Attached additional forms for other owners)	
Name	
Mailing Address	
Telephone	
Email	
<p>_____ (sign name) I affirm that I am the owner of the tract or parcels of land identified above under the project information section and I will serve as the primary contact for this application.</p> <p style="text-align: center; margin: 10px 0;">OR</p> <p>I hereby designate _____ (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.</p>	
REPRESENTATIVE CONTACT INFORMATION	
Name	
Mailing Address	
Telephone	
Email	
Company	

CITY OF FAIRBURN
 CLUP COMPREHENSIVE PLAN | AMENDMENT APPLICATION

PROJECT INFORMATION	
Project Name	Fairburn Technology Center
Project Address	8125 & 8155 Bohannon Drive (part of overall assemblage)
Project Parcel Numbers	09F010000110654 & 09F010000110100 (part of overall assemblage)
PROPERTY OWNER INFORMATION (Attached additional forms for other owners)	
Name	Richard L Benton
Mailing Address	8125 Bohannon Drive, Fairburn, GA 30213
Telephone	
Email	N/A
 10/29/24 (sign name) I affirm that I am the owner of the tract or parcels of land identified above under the project information section and I will serve as the primary contact for this application.	
OR	
I hereby designate Henry Bailey _____ (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.	
REPRESENTATIVE CONTACT INFORMATION	
Name	Henry Bailey
Mailing Address	3343 Peachtree Road, NE 1600 Atlanta Financial Center Atlanta, GA 30326
Telephone	404-364-3198
Email	hbailey@mmmlaw.com
Company	Bohannon Road Venture, LLC c/o Morris Manning Martin, LLP


CITY OF FAIRBURN
 CLUP COMPREHENSIVE PLAN | AMENDMENT APPLICATION

PROJECT INFORMATION	
Project Name	Fairburn Technology Center
Project Address	8145 Bohannon Road (part of overall assemblage)
Project Parcel Numbers	09F010000110662 & 09F010000110365 (part of overall assemblage)
PROPERTY OWNER INFORMATION (Attached additional forms for other owners)	
Name	Catherine Benton
Mailing Address	8145 Bohannon Road, Fairburn, GA 30213
Telephone	
Email	N/A
<div style="border: 1px solid black; padding: 5px; margin-bottom: 10px;">  10/29/24 (sign name) </div> <p>I affirm that I am the owner of the tract or parcels of land identified above under the project information section and I will serve as the primary contact for this application.</p>	
<p>_____ OR _____</p>	
<p>I hereby designate Henry Bailey _____ (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.</p>	
REPRESENTATIVE CONTACT INFORMATION	
Name	Henry Bailey
Mailing Address	3343 Peachtree Road, NE 1600 Atlanta Financial Center Atlanta, GA 30326
Telephone	404-364-3198
Email	hbailey@mmmlaw.com
Company	Bohannon Road Venture, LLC c/o Morris Manning Martin, LLP

CITY OF FAIRBURN
 CLUP COMPREHENSIVE PLAN | AMENDMENT APPLICATION

PROJECT INFORMATION	
Project Name	Fairburn Technology Center
Project Address	8155 Bohannon Drive Rear Lot (part of overall assemblage)
Project Parcel Numbers	09F010000114227 (part of overall assemblage)
PROPERTY OWNER INFORMATION (Attached additional forms for other owners)	
Name	Brian Dickson
Mailing Address	8155 Bohannon Drive Rear Lot, Fairburn, GA 30213
Telephone	
Email	N/A
<div style="border: 1px solid black; padding: 5px; display: flex; align-items: center;"> 10/29/24 (sign name) </div> <p>I affirm that I am the owner of the tract or parcels of land identified above under the project information section and I will serve as the primary contact for this application.</p> <p style="text-align: center; margin: 20px 0;">OR</p> <p>I hereby designate Henry Bailey (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.</p>	
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Telephone	404-364-3198
Email	hbailey@mmmlaw.com
Company	Bohannon Road Venture, LLC c/o Morris Manning Martin, LLP


CITY OF FAIRBURN
CLUP COMPREHENSIVE PLAN | AMENDMENT APPLICATION

PROJECT INFORMATION	
Project Name	Fairburn Technology Center
Project Address	8156 Bohannon Drive (part of overall assemblage)
Project Parcel Numbers	09F010000110571 (part of overall assemblage)
PROPERTY OWNER INFORMATION (Attached additional forms for other owners)	
Name	Jonathan William Glisson
Mailing Address	8156 Bohannon Drive, Fairburn, GA 30213
Telephone	
Email	N/A
 10/29/24 (sign name) I affirm that I am the owner of the tract or parcels of land identified above under the project information section and I will serve as the primary contact for this application.	
<p>_____ OR _____</p>	
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Mailing Address	3343 Peachtree Road, NE 1600 Atlanta Financial Center Atlanta, GA 30326
Telephone	404-364-3198
Email	hbailey@mmmlaw.com
Company	Bohannon Road Venture, LLC c/o Morris Manning Martin, LLP


CITY OF FAIRBURN
 CLUP COMPREHENSIVE PLAN | AMENDMENT APPLICATION

PROJECT INFORMATION	
Project Name	Fairburn Technology Center
Project Address	8355 Bohannon Road (part of overall assemblage)
Project Parcel Numbers	09F010000110266 (part of overall assemblage)
PROPERTY OWNER INFORMATION (Attached additional forms for other owners)	
Name	Guy W. & Phyllis M. Lassiter
Mailing Address	8355 Bohannon Road, Fairburn, GA 30213
Telephone	
Email	N/A
<p><i>Guy W. Lassiter</i> 10/29/24 (sign name) I affirm that I am the owner of the tract or parcels of land identified above under the project information section and I will serve as the primary contact for this application.</p> <p><i>Phyllis M. Lassiter</i> 10/29/24</p> <p align="center">OR</p> <p>I hereby designate Henry Bailey (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.</p>	
REPRESENTATIVE CONTACT INFORMATION	
Name	Henry Bailey
Mailing Address	3343 Peachtree Road, NE 1600 Atlanta Financial Center Atlanta, GA 30326
Telephone	404-364-3198
Email	hbailey@mmmlaw.com
Company	Bohannon Road Venture, LLC c/o Morris Manning Martin, LLP


CITY OF FAIRBURN
 CLUP COMPREHENSIVE PLAN | AMENDMENT APPLICATION

PROJECT INFORMATION	
Project Name	Fairburn Technology Center
Project Address	8365 Bohannon Road (part of overall assemblage)
Project Parcel Numbers	09F010000110647 (part of overall assemblage)
PROPERTY OWNER INFORMATION (Attached additional forms for other owners)	
Name	Aaron Matthew Shinstine
Mailing Address	8365 Bohannon Road, Fairburn, GA 30213
Telephone	
Email	N/A
<div style="border: 1px solid black; padding: 5px; margin-bottom: 10px;">  10/29/24 (sign name) I affirm that I am the owner of the tract or parcels of land identified above under the project information section and I will serve as the primary contact for this application. </div> <p style="text-align: center;">_____ OR _____</p> <p>I hereby designate Henry Bailey _____ (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.</p>	
REPRESENTATIVE CONTACT INFORMATION	
Name	Henry Bailey
Mailing Address	3343 Peachtree Road, NE 1600 Atlanta Financial Center Atlanta, GA 30326
Telephone	404-364-3198
Email	hbailey@mmmlaw.com
Company	Bohannon Road Venture, LLC c/o Morris Manning Martin, LLP

CITY OF FAIRBURN
 CLUP COMPREHENSIVE PLAN | AMENDMENT APPLICATION

PROJECT INFORMATION	
Project Name	Fairburn Technology Center
Project Address	9301 Bohannon Road (part of overall assemblage)
Project Parcel Numbers	09F010000110563 (part of overall assemblage)
PROPERTY OWNER INFORMATION (Attached additional forms for other owners)	
Name	Abigail Shinstine
Mailing Address	9301 Bohannon Road, Fairburn, GA 30213
Telephone	
Email	N/A
<div style="border: 1px solid #ccc; padding: 5px; margin-bottom: 10px;">  10/29/24 (sign name) </div> <p>I affirm that I am the owner of the tract or parcels of land identified above under the project information section and I will serve as the primary contact for this application.</p> <p style="text-align: center; margin: 20px 0;">OR</p> <p>I hereby designate Henry Bailey (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.</p>	
REPRESENTATIVE CONTACT INFORMATION	
Name	Henry Bailey
Mailing Address	3343 Peachtree Road, NE 1600 Atlanta Financial Center Atlanta, GA 30326
Telephone	404-364-3198
Email	hbailey@mmmlaw.com
Company	Bohannon Road Venture, LLC c/o Morris Manning Martin, LLP

CITY OF FAIRBURN
 CLUP COMPREHENSIVE PLAN | AMENDMENT APPLICATION

PROJECT INFORMATION	
Project Name	Fairburn Technology Center
Project Address	8385 Bohannon Drive (part of overall assemblage)
Project Parcel Numbers	09F010000110548 (part of overall assemblage)
PROPERTY OWNER INFORMATION (Attached additional forms for other owners)	
Name	Edward Shinstine
Mailing Address	8385 Bohannon Drive, Fairburn, GA 30213
Telephone	
Email	N/A
 10/29/24 (sign name) I affirm that I am the owner of the tract or parcels of land identified above under the project information section and I will serve as the primary contact for this application.	
<hr style="width: 50%; margin: 0 auto;"/> OR <hr style="width: 50%; margin: 0 auto;"/>	
I hereby designate Henry Bailey _____ (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.	
REPRESENTATIVE CONTACT INFORMATION	
Name	Henry Bailey
Mailing Address	3343 Peachtree Road, NE 1600 Atlanta Financial Center Atlanta, GA 30326
Telephone	404-364-3198
Email	hbailey@mmmlaw.com
Company	Bohannon Road Venture, LLC c/o Morris Manning Martin, LLP

CITY OF FAIRBURN
 CLUP COMPREHENSIVE PLAN | AMENDMENT APPLICATION

SITE INFORMATION			
Project Name		Project Address	
Parcel ID		Property Size	
Location/ Date/Time for the Neighborhood Meeting			
REQUEST OVERVIEW			
Future Land Use Amendment Request (If Applicable)			
Impact Form			
Existing Land Use		Proposed Land Use	
OTHER INFORMATION			
Are there Existing Deed Restrictions or Easements?	___ Yes ___ No	Are utilities available on site:	___ Yes ___ No
Utility Provider	Water		
	Sewer		
	Power		
Existing Land Use: check all that apply			
Proposed Land Use: check all that apply			

BOHANNON ROAD & BOHANNON DRIVE PROPERTY ASSEMBLAGE

Survey Parcel #	Property Owner Name	Address	Tax Parcel	Contact Information	Acreage
1	Richard L Benton	8125 Bohannon Drive	09F010000110654	J. Daniel Kalamaro Kalamaro Law Office, LLC 225 North Jeff Davis Dr. Fayetteville, GA 30214 (770) 284-8714 daniel@familyfirstlawyer.com <i>(Acting Contact for All Property Owners)</i>	4.198
2	Catherine Benton	8145 Bohannon Road	09F010000110662		1.504
3	Catherine Benton	8145 Bohannon Road	09F010000110365		12.303
4	Brian Dickson	8155 Bohannon Drive Rear Lot	09F010000114227		8.512
5	Richard L Benton	8155 Bohannon Drive	09F010000110100		2.001
6	Jonathan William Glisson	8156 Bohannon Drive	09F010000110571		2.919
7	Guy W Lassiter & Phyllis M Lassiter	8355 Bohannon Road	09F010000110266		4.328
8	Aaron Matthew Shinstine	8365 Bohannon Road	09F010000110647		5.654
9	Abigail Shinstine (Bottlerocket Enterprises, LLC)	9301 Bohannon Road	09F010000110563		13.544
10	Edward Shinstine	8385 Bohannon Drive	09F010000110548		3.892
					58.855
Bohannon Drive ROW to be Abandoned					0.825
TOTAL SITE ACREAGE					59.68

CITY OF FAIRBURN
CLUP COMPREHENSIVE PLAN | AMENDMENT APPLICATION

PART 2: IMPACT ANALYSIS REVIEW

IMPACT FORM
Analyze the impact of the proposed amendments to the comprehensive plan and/or future land use map and answer the following questions:
1. The extent to which a change in the economy, land use or development opportunities of the area has occurred.
2. The extent to which additional land area is needed to be developed for a specific type of use.
3. The extent to which the proposed designation is in compliance with the concerns, goals and policies of the Comprehensive Plan.
4. The extent to which the proposed designation would impact public health, safety or welfare.
5. The extent to which additional land area needs to be made available or developed for a specific type of use.
See attached.
6. Whether the proposed land use change will adversely affect the existing use or usability of adjacent or nearby properties
7. Whether the proposed land use change will result in uses which will or could cause excessive or burdensome uses of existing streets, transportation facilities, utilities, public services or schools, or any infrastructure.

8. Describe how the resultant changes impact or benefit the City of Fairburn relative to all of the items listed below:

- Community Design;
- Cultural Resources;
- Economic Development;
- Environment;
- Fire and Rescue; Housing (residential developments only);
- Land Use;
- Libraries (residential developments only);
- Police;
- Potable Water;
- Schools (residential developments only);
- Sewer;
- Transportation;
- Sector Plan/Small Area Plan (if applicable);

Comprehensive Land Use Plan Amendment

Impact Analysis

- 1. The extent to which a change in the economy, land use or development opportunities of the area has occurred.**

Generally, the economic evolution experienced over the last two or three decades has resulted in an ever-growing dependency on e-commerce and data. This dependency has led to the significant need for more physical facilities to support the digital demand. Further, and more specific to this area of the City of Fairburn, non-residential uses including commercial and industrial uses have been developed in significant amounts in the area near the property. This development pattern change means the proposed industrial land use designation along with the proposed data center use, is more appropriate than ever before in this area.

- 2. The extent to which additional land area is needed to be developed for a specific type of use.**

Data center uses have just become a use permitted with a special use permit in the City of Fairburn. As such, there is not any specific area within the city designated for such uses although they would be permitted on industrially zoned properties. That said, the subject property is appropriate for the proposed data center use, as there are no other sites in the city that would necessarily be appropriate given the zoning, locational requirements for power sources and infrastructure, along with proximity to the Interstate-85 corridor.

- 3. The extent to which the proposed designation is in compliance with the concerns, goals and policies of the Comprehensive Plan.**

There are at least two consistencies between the proposed amendment and the Comprehensive Plan that include the following: First, one of the stated goals of the community is to attract, retain and grow both small and large businesses that offer good jobs; Second, the use would create the type of industrial use designated as appropriate near the Interstate 85 corridor. The proposed use of the property is directly aligned with these goals and policies.

- 4. The extent to which the proposed designation would impact public health, safety or welfare.**

The proposed designation would not negatively affect the public health, safety or welfare.

- 5. The extent to which additional land area needs to be made available or developed for a specific type of use.**

See number 2 above.

- 6. Whether the proposed land use change will adversely affect the existing use or usability of adjacent or nearby properties.**

The proposed designation will allow a use that will have the lowest impact possible, as compared to most any other use appropriate under the industrial zoning district. Further, the topography of the site, coupled with the buffering along the perimeter will further shield the use from surrounding areas. Even more, data centers generate little to no traffic relative to almost all other uses. As a result, the proposed data center use will be largely shielded from the surrounding properties with no impact.

7. Whether the proposed land use change will result in uses which will or could cause excessive or burdensome uses of existing streets, transportation facilities, utilities, public services or schools, or any infrastructure.

There will be no impact on the existing facilities in the area. Minimal traffic will be generated by the proposed use and there will be no negative impact on the local schools or public services. All other appropriate infrastructure is available in the area and there is anticipated to be no impact on these facilities.

8. Describe how the resultant changes impact or benefit the City of Fairburn relative to all of the items listed below.

There will be little physical change to the City of Fairburn as a result of this project and as such community design and cultural resources are minimally impacted. Provided, however, relative to the little physical change that will result from this project, there will be significant tax impact that will help serve economic development initiatives and increase coffers of the city such that the ability to efficiently provide city services is increased and improved. The environment, potable water, sewer and transportation facilities will experience minor impacts, if any at all, as a result of this project. In fact, as it pertains to transportation, much needed improvements to Bohannon Road in the area of the project will be completed. Specifically, improvements to the streets and physical infrastructure (road widening, turn lane added, etc) nearby will be done that will positively impact the immediate area. Lastly, the project will serve to buffer the existing residential uses from the existing industrial uses and be a transition of sorts from an intensity standpoint. This transition becomes an important land use feature for the area to ensure intensities are separated appropriately.



DRI REGIONAL REVIEW FINDING

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: August 18, 2024

TO: Mayor Mario Avery, City of Fairburn
ATTN TO: Denise Brookins, Planning and Zoning Director, City of Fairburn
FROM: Mike Alexander, COO, Atlanta Regional Commission
RE: Development of Regional Impact (DRI) Review

ARC has completed a regional review of the below DRI. ARC reviewed the DRI's relationship to regional plans, goals and policies – and impacts it may have on the activities, plans, goals and policies of other local jurisdictions as well as state, federal and other agencies. This final report does not address whether the DRI is or is not in the best interest of the host local government.

Name of Proposal: Fairburn Technology

Submitting Local Government: City of Fairburn

Date Opened: August 1, 2024

Date Closed: August 18, 2024

Description: A DRI review of a proposal to construct a data center project with 1,190,000 million Sf of space in three two-story buildings and supporting facilities on a 60-acre site on Bohannon Road in the City of Fairburn in Fulton County.

Comments:

Key Comments:

The Atlanta Region's Plan assigns the Developing Suburbs growth management designation to the project site. The project is not aligned with Developing Suburbs policy recommendations which state "There is a need in these areas for additional preservation of critical environmental locations and resources, as well as agricultural and forest uses."

The project could be better aligned with Developing Suburbs policies through retention of a meaningful amount of undisturbed areas, dedication of a portion of the substantial revenue generated by the project to acquiring natural space elsewhere in the city, and utilization of a design and construction approach that preserves existing trees to the greatest extent possible.

ARC recommends a careful examination by City of Atlanta Watershed of its capacity to meet peak-day demands for this project, in addition to other current and projected future peak-day demands. ARC also recommends that the City of Fairburn and City of Atlanta Watershed require the installation of advanced

“waterless” cooling technologies or “near waterless” technology to reduce the burden on the drinking water supplies and increase the resiliency for both the project and the potable water system.

The City of Fairburn has a water supply watershed ordinance that includes the Line Creek watershed that follows the Part 5 Criteria. The project will need to meet the relevant requirements of the City of Fairburn Water Supply Watershed ordinance.

Given the project's removal of large amounts of currently forested area, it is strongly recommended that some of the large amount of revenue generated by the project be earmarked for the acquisition/preservation of natural forested areas elsewhere in the City.

The project will need to comply with the City of Fairburn tree ordinance which requires replacement of trees of a certain size removed or an equivalent payment of recompense.

The City of Fairburn provided comments and questions detailed below related to project power and water consumption, fire suppression, substation details, size and placement of security and sound barriers, zoning and land use, and HVAC and generator system components and operations. The request to rezone the property from AG to M1 Light Industrial is not consistent with the City's Future Land Use Plan and will require a use permit and update to the Future Land Use designation. Given the project's proximity to nearby residential developments, the developer should include details regarding sound, proposed updates to the existing infrastructure (transportation, utilities, etc.) during the rezoning public hearing and meetings.

The project will generate a total of 1,178 daily new vehicular trips; minor roadway modifications are proposed to address this impact.

General Comments

The Atlanta Region's Plan, developed by ARC in close coordination with partner local governments, is intended to broadly guide regional development in the 12-county metro region to ensure that required infrastructure and resources are in place to support continued economic development and prosperity. The Plan assigns a relevant growth management category designation with accompanying policy recommendations to all areas in the region. This DRI site is designated Developing Suburbs; associated policy recommendations are provided at the end of these comments.

There are growing concerns about the impacts of high levels of energy and water consumption generated by the tremendous increase in the number of data center projects in the Atlanta region. ARC therefore recommends that the applicable water provider carefully examine its capacity to meet peak-day project demands, in addition to other current and projected peak-day demands. ARC also recommends the use of advanced “waterless” cooling technologies or “near waterless” technology for data center projects to reduce the burden on the drinking water supplies and increase the resiliency of both the project and the potable water system.

Transportation and Mobility Comments

ARC's Transportation Access and Mobility Group comments are attached.

The project will generate a total of 1,178 daily new vehicular trips. A range of roadway modifications are proposed to address this impact.

Care should be taken to ensure that the constructed development provides an interconnected, functional, clearly marked and comfortable pedestrian experience on all driveways, paths, entrances, and parking areas. To the maximum extent possible, new driveways and intersection corners where pedestrians will cross should be constructed with minimal curb radii to reduce speeds of turning vehicles and decrease crossing distances for pedestrians.

ARC Natural Resource Group Comments

ARC recognizes that energy demands will be very high for this project and that related water needs for cooling purposes could create a large peak demand from the City of Atlanta Watershed for water and Fulton County Public Works for Sewer. The application proposes 0.06 MGD of water supply demand and 0.015 MGD of estimated sewage flow generated by the project. It is unclear if these figures represent an annual average or daily maximum flow need. Given that daily maximum flow requirements for cooling purposes often occur during the hottest days of the year, the demand for water has a higher likelihood of occurring during times of water stress in the water supply watershed.

The water resources of the metro Atlanta region are critically important to the region's economic vitality and quality of life. The region lies in the headwaters of six major river basins, where natural surface water sources are small relative to other major metropolitan areas and in need of a high level of protection. The firm yield of water supply sources available to individual jurisdictions also varies, and some jurisdictions have larger available supplies than others. ARC recommends a careful examination by City of Atlanta Watershed of its capacity to meet peak-day demands for this project, in addition to other current and projected future peak-day demands. ARC also recommends that the City of Fairburn and City of Atlanta Watershed require the installation of advanced "waterless" cooling technologies or "near waterless" technology to reduce the burden on the drinking water supplies and increase the resiliency for both the project and the potable water system.

The proposed project property is partly within the Line Creek Water Supply Watershed which is a public water supply source for both the City of Newnan in Coweta County and for Fayette County. It is classified as a small (less than 100 square mile) water supply watershed. Under the Georgia Planning Act of 1989, all development in a small public water supply watershed is subject to the DNR Part 5 Water Supply Watershed Minimum Criteria (Chapter 391-3-16-.01, Criteria for Water Supply Watersheds) unless alternative criteria are developed and adopted by the jurisdiction according to the requirements of the Part 5 criteria and are then approved by Georgia EPD. The Part 5 criteria include an impervious limit of 25% impervious surface in the entire watershed and a 100-foot vegetative buffer and 150-foot impervious setback along all perennial

streams within 7 miles upstream of a public water supply intake. More than 7 miles upstream, the minimum criteria halve the buffer and setback to 50 and 75 feet, respectively. The City of Fairburn has a water supply watershed ordinance that includes the Line Creek watershed that follows the Part 5 Criteria. The project will need to meet the relevant requirements of the City of Fairburn Water Supply Watershed ordinance.

Other Environmental Comments

The project will require removal of a large forested area which creates heat and stormwater impacts as climate change accelerates. The project can mitigate these impacts somewhat by utilizing a design and construction approach that preserves existing trees to the greatest extent possible and by dedicating a portion of the substantial revenue generated by the project to acquiring natural space elsewhere in the city. The City of Fairburn has a tree ordinance which will require replacement of trees removed or an equivalent payment of recompense.

Multiple stormwater retention ponds are proposed which will require removal of large numbers of trees. An effort should be made to reduce the footprint of these ponds through deepening or consolidation. It is strongly recommended that some of the large amount of revenue generated by the project be earmarked for the acquisition and preservation of natural areas elsewhere in the City.

The project can support The Atlanta Region's Plan by incorporating regional environmental policy solutions including green infrastructure and/or low-impact design, e.g., pervious pavers, rain gardens, vegetated swales, etc., in parking areas and site driveways, and as part of any improvements to site frontages.

GDOT Aviation Comments

Comments received from GDOT Aviation are attached.

City of Fairburn Comments

Comments received from the City of Fairburn are attached.

UTILITY (POWER)– Please provide the annual expected Mega Watt load anticipated for the completed project. Staff will also require details on consumption (kWh) and other items.

UTILITY (WATER) – Water is City of Atlanta. Sewer is Fulton County. The applicant will need to provide the basis of Design Data for Water System Addition and Expansion to the City of Atlanta and Fairburn officials. Additional details will be required.

FIRE DEPARTMENT –What will happen with the 8 in water line and hydrants on Bohannon Dr. Can Atlanta Water provide enough capacity for all expected needs to include fire protection systems?

OPERATIONS –

- Please provide the expected data and components for the substation to be built as a part of this project.

- Provide details on how the substation is going to be connected to the buildings?
- What portions of the development will be specifically constructed below the Bohannon road grade level? Will it be underground?
- What is the size of the HVAC units and Generators?
- How tall are the sound/security walls? How tall are they in relation to buildings?

BUILDING OFFICIAL– Provide required fire separation distance per the 2018 IBC.

PLANNING AND ZONING –The current zoning district (AG) does not permit the proposed use. The request to rezone the property from AG to M1 Light Industrial is not consistent with the City’s Future Land Use Plan. The request will also require a use permit and update to the Future Land Use designation.

There is close proximity to residential developments, the developer should include details regarding sound, proposed updates to the existing infrastructure (transportation, utilities, etc.) during the rezoning public hearing and meetings.

The Public Works Department will have additional comments after the DRI review is complete.

The Atlanta Region’s Plan Growth Policy Considerations: Developing Suburbs

The Atlanta Region’s Plan identifies Developing Suburbs as areas in the region where suburban development has occurred, and the conventional development pattern is present but not set. These areas are characterized by residential development with pockets of commercial and industrial development. These areas represent the extent of the urban service area. There is a need in these areas for additional preservation of critical environmental locations and resources, as well as agricultural and forest uses. Limited existing infrastructure in these areas will constrain the amount of additional growth that is possible. Transportation improvements are needed within these Developing Suburbs, but care should be taken not to spur unwanted growth.

The project is not aligned with Developing Suburbs policy recommendations which state “There is a need in these areas for additional preservation of critical environmental locations and resources, as well as agricultural and forest uses.” It could be better aligned through retention of a meaningful amount of undisturbed areas, utilization of a development approach sensitive to tree canopy preservation, replacement of tree canopy elsewhere in the City, and careful consideration of the impact on nearby residents. City of Fairburn leadership and staff, along with the applicant team, should collaborate closely to ensure optimal sensitivity to the needs of nearby local governments, neighborhoods, and natural systems.

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES RECEIVED NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
 GEORGIA DEPARTMENT OF TRANSPORTATION
 GEORGIA ENVIRONMENTAL FINANCE AUTHORITY
 CITY OF PALMETTO
 COWETA COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCE
 GEORGIA REGIONAL TRANSPORTATION AUTHORITY
 GEORGIA CONSERVANCY
 TOWN OF TYRONE

GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS
 GEORGIA SOIL AND WATER CONSERVATION COMMISSION
 CITY OF SOUTH FULTON
 FAYETTE COUNTY

For questions, please contact Donald Shockey at (470) 378-1531 or dshockey@atlantaregional.org. This finding will be published to the ARC review website located at <http://atlantaregional.org/plan-reviews>.



Developments of Regional Impact

[DRI Home](#)

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DRI #4213

DEVELOPMENT OF REGIONAL IMPACT Initial DRI Information

This form is to be completed by the city or county government to provide basic project information that will allow the RDC to determine if the project appears to meet or exceed applicable DRI thresholds. Refer to both the [Rules for the DRI Process](#) and the [DRI Tiers and Thresholds](#) for more information.

Local Government Information

Submitting Local Government: City of Fairburn
 Individual completing form: Denise Brookins
 Telephone: 7708435718
 E-mail: sbrookins@fairburn.com

*Note: The local government representative completing this form is responsible for the accuracy of the information contained herein. If a project is to be located in more than one jurisdiction and, in total, the project meets or exceeds a DRI threshold, the local government in which the largest portion of the project is to be located is responsible for initiating the DRI review process.

Proposed Project Information

Name of Proposed Project: Fairburn Technology Center
 Location (Street Address, GPS Coordinates, or Legal Land Lot Description): 8125 Bohannon Drive Fairburn, GA 30213
 Brief Description of Project: Proposed 1,190,000 SF of data center space in three (3) buildings on an approximately 59.6-acre site.

Development Type:

- | | | |
|--|---|---|
| <input type="radio"/> (not selected) | <input type="radio"/> Hotels | <input type="radio"/> Wastewater Treatment Facilities |
| <input type="radio"/> Office | <input type="radio"/> Mixed Use | <input type="radio"/> Petroleum Storage Facilities |
| <input type="radio"/> Commercial | <input type="radio"/> Airports | <input type="radio"/> Water Supply Intakes/Reservoirs |
| <input type="radio"/> Wholesale & Distribution | <input type="radio"/> Attractions & Recreational Facilities | <input type="radio"/> Intermodal Terminals |
| <input type="radio"/> Hospitals and Health Care Facilities | <input type="radio"/> Post-Secondary Schools | <input type="radio"/> Truck Stops |
| <input type="radio"/> Housing | <input type="radio"/> Waste Handling Facilities | <input type="radio"/> Any other development types |
| <input checked="" type="radio"/> Industrial | <input type="radio"/> Quarries, Asphalt & Cement Plants | |

If other development type, describe:

Project Size (# of units, floor area, etc.): 1,190,000 SF of data center space in three (3) buildings

Developer: Bohannon Road Venture, LLC.

Mailing Address: 600 Peachtree St NE, Suite 3000

Address 2:

City:Atlanta State: Ge Zip:30308

Telephone: (770) 714-4592

Email: sbrookins@fairburn.com

Is property owner different from developer/applicant? (not selected) Yes No

If yes, property owner: Richard L Benton, Catherine Benton, Brian Dickson, Jonathan William Glisson, Guy & Phyllis Lassiter,

Is the proposed project entirely located within your (not selected) Yes No

local government's jurisdiction?
If no, in what additional jurisdictions is the project located?
Is the current proposal a continuation or expansion of a previous DRI? (not selected) Yes No
If yes, provide the following information: Project Name:
Project ID:
The initial action being requested of the local government for this project: Rezoning Variance Sewer Water Permit Other
Is this project a phase or part of a larger overall project? (not selected) Yes No
If yes, what percent of the overall project does this project/phase represent?
Estimated Project Completion Dates: This project/phase: 2028 Overall project: 2028

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Developments of Regional Impact

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DRI #4213

DEVELOPMENT OF REGIONAL IMPACT Additional DRI Information

This form is to be completed by the city or county government to provide information needed by the RDC for its review of the proposed DRI. Refer to both the [Rules for the DRI Process](#) and the [DRI Tiers and Thresholds](#) for more information.

Local Government Information

Submitting Local Government: City of Fairburn
 Individual completing form: Denise Brookins
 Telephone: 7708435718
 Email: sbrookins@fairburn.com

Project Information

Name of Proposed Project: Fairburn Technology Center
 DRI ID Number: 4213
 Developer/Applicant: Bohannon Road Venture, LLC.
 Telephone: (770) 714-4592
 Email(s): sbrookins@fairburn.com

Additional Information Requested

Has the RDC identified any additional information required in order to proceed with the official regional review process? (If no, proceed to Economic Impacts.)
 (not selected) Yes No

If yes, has that additional information been provided to your RDC and, if applicable, GRTA?
 (not selected) Yes No

If no, the official review process can not start until this additional information is provided.

Economic Development

Estimated Value at Build-Out: \$970 million

Estimated annual local tax revenues (i.e., property tax, sales tax) likely to be generated by the proposed development: \$5.5 million

Is the regional work force sufficient to fill the demand created by the proposed project?
 (not selected) Yes No

Will this development displace any existing uses?
 (not selected) Yes No

If yes, please describe (including number of units, square feet, etc):

Water Supply

Name of water supply provider for this site: City of Atlanta

What is the estimated water supply demand to be generated by the project, measured in Millions of Gallons Per Day (MGD)? 60,000 gallons of water per day

Is sufficient water supply capacity available to serve the proposed project? (not selected) Yes No

If no, describe any plans to expand the existing water supply capacity: City of Atlanta records indicate that there is an existing 12 inch water main located BOC along the west side of Bohannon Rd. This water main is owned and maintained by the City of Atlanta. A basis of design document will be required to be completed and a fire flow test performed at the site location, to determine if the system can support the water service request.

Is a water line extension required to serve this project? (not selected) Yes No

If yes, how much additional line (in miles) will be required?

Wastewater Disposal

Name of wastewater treatment provider for this site: Fulton County

What is the estimated sewage flow to be generated by the project, measured in Millions of Gallons Per Day (MGD)? 0.015 MGD

Is sufficient wastewater treatment capacity available to serve this proposed project? (not selected) Yes No

If no, describe any plans to expand existing wastewater treatment capacity:

Is a sewer line extension required to serve this project? (not selected) Yes No

If yes, how much additional line (in miles) will be required?

Land Transportation

How much traffic volume is expected to be generated by the proposed development, in peak hour vehicle trips per day? (If only an alternative measure of volume is available, please provide.) Up to 1,178 daily trips, 149 AM peak hour trips, 125 PM peak hour trips, based on ITE estimates

Has a traffic study been performed to determine whether or not transportation or access improvements will be needed to serve this project? (not selected) Yes No

Are transportation improvements needed to serve this project? (not selected) Yes No

If yes, please describe below: Please refer to the traffic study prepared by Kimley-Horn and Associates. The project trips are based on ITE estimates, and the development is expected to generate less trips based on the anticipated employee counts.

Solid Waste Disposal

How much solid waste is the project expected to generate annually (in tons)? 200 tons

Is sufficient landfill capacity available to serve this proposed project? (not selected) Yes No

If no, describe any plans to expand existing landfill capacity:

Will any hazardous waste be generated by the development? (not selected) Yes No

If yes, please explain:

Stormwater Management

What percentage of the site is projected to be impervious surface once the proposed development has been constructed? 53.8%

Describe any measures proposed (such as buffers, detention or retention ponds, pervious parking areas) to mitigate the project's impacts on stormwater management: The development will utilize stormwater detention ponds that will provide water quality, channel protection, and overbank flood protection to mitigate the impacts of stormwater management

Environmental Quality

Is the development located within, or likely to affect any of the following:

- 1. Water supply watersheds? (not selected) Yes No
- 2. Significant groundwater recharge areas? (not selected) Yes No
- 3. Wetlands? (not selected) Yes No
- 4. Protected mountains? (not selected) Yes No
- 5. Protected river corridors? (not selected) Yes No
- 6. Floodplains? (not selected) Yes No
- 7. Historic resources? (not selected) Yes No
- 8. Other environmentally sensitive resources? (not selected) Yes No

If you answered yes to any question above, describe how the identified resource(s) may be affected: Approximately 0.49 acres of wetlands are expected to be impacted. Plans have been submitted to the Army Corps of Engineers for review and approval of a Nationwide Permit.

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From: [Denise Brookins](#)
To: [Donald Shockey](#)
Subject: Re: 2024 Fairburn Technology Center DRI 4213 - Preliminary Report and Comments Request
Date: Friday, August 16, 2024 4:44:16 PM

City Comments:

UTILITY (POWER)- Please provide the annual expected Mega Watt load anticipated for the completed project. Staff will also require details on consumption (kWh) and other items.

UTILITY (WATER) – Water is City of Atlanta. Sewer is Fulton County. The applicant will need to provide the basis of Design Data for Water System Addition and Expansion to the City of Atlanta and Fairburn officials. Additional details will be required.

FIRE DEPARTMENT -What will happen with the 8 in water line and hydrants on Bohannon Dr. Can Atlanta Water provide enough capacity for all expected needs to include fire protection systems?

OPERATIONS –

- Please provide the expected data and components for the substation to be built as a part of this project.
- Provide details on how the substation is going to be connected to the buildings?
- What portions of the development will be specifically constructed below the Bohannon road grade level? Will it be underground?
- What is the size of the HVAC units and Generators?
- How tall are the sound/security walls? How tall are they in relation to buildings?

BUILDING OFFICIAL- Provide required fire separation distance per the 2018 IBC.

PLANNING AND ZONING -The current zoning district (AG) does not permit the proposed use. The request to rezone the property from AG to M1 Light Industrial is not consistent with the City's Future Land Use Plan. The request will also require a use permit and update to the Future Land Use designation.

There is close proximity to residential developments, the developer should include details regarding sound, proposed updates to the existing infrastructure (transportation, utilities, etc.) during the rezoning public hearing and meetings.

The Public Works will have additional comments after the DRI review is complete.

Best regards,

Denise Brookins

From: Donald Shockey <DShockey@atlantaregional.org>

Sent: Friday, August 2, 2024 4:09 PM

To: chuck.mueller@dnr.state.ga.us <chuck.mueller@dnr.state.ga.us>; gaswcc.swcd@gaswcc.ga.gov <gaswcc.swcd@gaswcc.ga.gov>; hhill@gefa.ga.gov <hhill@gefa.ga.gov>; Jon West <jon.west@dca.ga.gov>; kmoore@gaconservancy.org <kmoore@gaconservancy.org>;

FAIRBURN TECHNOLOGY CENTER DRI
City of Fairburn
Natural Resources Review Comments

August 12, 2024

ARC recognizes that energy demands will be very high for this project and that related water needs for cooling purposes could create a large peak demand from the City of Atlanta Watershed for water and Fulton County Public Works for Sewer. The application proposes 0.06 MGD of water supply demand and 0.015 MGD of estimated sewage flow generated by the project. It is unclear if these figures represent an annual average or daily maximum flow need. Given that daily maximum flow requirements for cooling purposes often occur during the hottest days of the year, the demand for water has a higher likelihood of occurring during times of water stress in the water supply watershed.

The water resources of the metro Atlanta region are critically important to the region's economic vitality and quality of life. The region lies in the headwaters of six major river basins, where natural surface water sources are small relative to other major metropolitan areas and in need of a high level of protection. The firm yield of water supply sources available to individual jurisdictions also varies, and some jurisdictions have larger available supplies than others. ARC recommends a careful examination by City of Atlanta Watershed of its capacity to meet peak-day demands for this project, in addition to other current and projected future peak-day demands. ARC also recommends that the City of Fairburn and City of Atlanta Watershed require the installation of advanced "waterless" cooling technologies or "near waterless" technology to reduce the burden on the drinking water supplies and increase the resiliency for both the project and the potable water system.

Additional Water Resources Comments

While ARC and the Metropolitan North Georgia Water Planning District have no regulatory or review authority over this project, the Natural Resources Department has identified City and State regulations that could apply to this property. Other regulations may also apply that we have not identified.

Water Supply Watersheds

The proposed project property is partly within the Line Creek Water Supply Watershed which is a public water supply source for both the City of Newnan in Coweta County and for Fayette County. It is classified as a small (less than 100 square mile) water supply watershed. Under the Georgia Planning Act of 1989, all development in a small public water supply watershed is subject to the DNR Part 5 Water Supply Watershed Minimum Criteria (Chapter 391-3-16-.01, Criteria for Water Supply Watersheds) unless alternative criteria are developed and adopted by the jurisdiction according to the requirements of the Part 5 criteria and are then approved by Georgia EPD. The Part 5 criteria include an impervious limit of 25% impervious surface in the entire watershed and a 100-foot vegetative buffer and 150-foot impervious setback along all perennial streams within 7 miles upstream of a public water supply intake. More than 7 miles upstream, the minimum criteria halve the buffer and setback to 50 and 75 feet, respectively. The City of Fairburn has a water supply watershed ordinance that includes the Line Creek watershed that follows the Part 5 Criteria. The project will need to meet the relevant requirements of the City of Fairburn Water Supply Watershed ordinance.

Stream Buffers

Neither the USGS coverage for the project area nor the proposed project site plan show any streams on the project property. The submitted site plan shows an existing pond and adjacent wetlands surrounded by the State 25-foot Sediment and Erosion Control buffer as well as a 50-foot undisturbed buffer and a 75-foot impervious surface setback. Buffers beyond the State Sediment and Erosion Control buffer are not specifically required on non-water supply ponds under either the Part 5 Criteria or the Fairburn Stream Buffer Ordinance.

Any unmapped streams on the property may also be subject to the Fairburn Stream Buffer Ordinance. Any unmapped streams as well as any other waters of the state on this property are also subject to the State 25-foot Sediment and Erosion Control Buffer.

Stormwater/Water Quality

The project should adequately address the impacts of the proposed development on stormwater runoff and downstream water quality.

During the planning phase, the stormwater management system (system) should meet the requirements of the local jurisdiction's post-construction (or post-development) stormwater management ordinance. The system should be designed to prevent increased flood damage, streambank channel erosion, habitat degradation and water quality degradation, and enhance and promote the public health, safety and general welfare. The system design should also be in accordance with the applicable sections of the Georgia Stormwater Management Manual (www.georgiastormwater.com) such as design standards, calculations, formulas, and methods. Where possible, the project should use stormwater better site design practices included in the Georgia Stormwater Management Manual, Volume 2, Section 2.3.

During construction, the project should conform to the relevant state and federal erosion and sedimentation control requirements.

From: [Hood, Alan C.](#)
To: [Donald Shockey](#)
Subject: RE: 2024 Fairburn Technology Center DRI 4213 - Preliminary Report and Comments Request
Date: Tuesday, August 13, 2024 10:21:02 AM
Attachments: [image001.png](#)

Donald,

The proposed a data center project with 1,190,000 million Sf of space in three two-story buildings and supporting facilities on a 60-acre site on Bohannon Road in the City of Fairburn in Fulton County is more than 10 miles from any civil airport. It is located outside any FAA approach or departure surfaces, and airport compatible land use areas, and does not appear to impact any airport.

If any construction equipment or construction exceeds 200' AGL, an FAA Form 7460-1 must be submitted to the Federal Aviation Administration according to the FAA's Notice Criteria Tool found here (<https://oeaaa.faa.gov/oeaaa/external/gisTools/gisAction.jsp?action=showNoNoticeRequiredToolForm>). Those submissions for any associated cranes may be done online at <https://oeaaa.faa.gov>. The FAA must be in receipt of the notifications, no later than 120 days prior to construction. The FAA will evaluate the potential impacts of the project on protected airspace associated with the airports and advise the proponent if any action is necessary.

Thank you for the opportunity to comment on the proposed development.

Alan Hood

Airport Safety Data Program Manager



Aviation Programs

600 West Peachtree Street NW

6th Floor

Atlanta, GA, 30308

404.660.3394 cell

404.532.0082 office

Website: <https://www.dot.ga.gov/GDOT/pages/AirportAid.aspx>

From: Donald Shockey <DShockey@atlantaregional.org>

Sent: Friday, August 2, 2024 4:10 PM

To: chuck.mueller@dnr.state.ga.us; gaswcc.swcd@gaswcc.ga.gov; hhill@gefa.ga.gov; Jon West <jon.west@dca.ga.gov>; kmoore@gaconservancy.org; nongame.review@dnr.ga.gov; slucki@gefa.ga.gov; Zane Grennell - Georgia DCA <zane.grennell@dca.ga.gov>; Amy Goodwin <AGoodwin@atlantaregional.org>; Andrew Smith <ASmith@atlantaregional.org>; Arin Yost <AYost@atlantaregional.org>; Danny Johnson <DJohnson@atlantaregional.org>; David Haynes <DHaynes@atlantaregional.org>; Eleanor Swensson <ESwensson@atlantaregional.org>; Jean Hee P. Barrett <JBarrett@atlantaregional.org>; Jillian Willis <JWillis@atlantaregional.org>; Jim Santo

Development of Regional Impact Assessment of Consistency with the Regional Transportation Plan

DRI INFORMATION

DRI Number #4213
DRI Title Fairburn Technology Center
County Fulton County
City (if applicable) Fairburn
Address / Location 8125 Bohannon Road

Proposed Development Type:

A DRI review of a proposal to construct a data center project with 1,190,000 million Sf of space in three two-story buildings and supporting facilities on a 60-acre site on Bohannon Road in the City of Fairburn in Fulton County.

Build Out: 2028

Review Process EXPEDITED
 NON-EXPEDITED

REVIEW INFORMATION

Prepared by ARC Transportation Access and Mobility Division
Staff Lead Reginald James
Copied N/A
Date August 15, 2024

TRAFFIC STUDY

Prepared by Kimley-Horn
Date July 1, 2024

REGIONAL TRANSPORTATION PLAN PROJECTS

01. Did the traffic analysis incorporate all projects contained in the current version of the fiscally constrained RTP which are within the study area or along major transportation corridors connecting the study area with adjacent jurisdictions?

YES (provide the regional plan referenced and the page number of the traffic study where relevant projects are identified)

On page 10 of the traffic study.

NO (provide comments below)

[Click here to provide comments.](#)

REGIONAL NETWORKS

02. Will the development site be directly served by any roadways identified as Regional Thoroughfares?

A Regional Thoroughfare is a major transportation corridor that serves multiple ways of traveling, including walking, bicycling, driving, and riding transit. It connects people and goods to important places in metropolitan Atlanta. A Regional Thoroughfare's operations should be managed through application of special traffic control strategies and suitable land development guidelines in order to maintain travel efficiency, reliability, and safety for all users. In light of the special function that Regional Thoroughfares serve in supporting cross-regional and interjurisdictional mobility and access, the network receives priority consideration for infrastructure investment in the Metro Atlanta region. Any access points between the development and a Regional Thoroughfare, combined with the development's on-site circulation patterns, must be designed with the goal of preserving the highest possible level of capacity and safety for all users of the roadway.

NO

YES (identify the roadways and existing/proposed access points)

No access to the site is provided via a roadway identified as a Regional Thoroughfare.

03. Will the development site be directly served by any roadways identified as Regional Truck Routes?

A Regional Truck Route is a freeway, state route or other roadway which serves as a critical link for the movement of goods to, from and within the Region by connecting airports, intermodal/multimodal facilities, distribution and warehousing centers and manufacturing clusters with the rest of the state and nation. These facilities often serve a key mobility and access function for other users as well, including drivers, bicyclists, pedestrians and transit users. A Regional Truck Route’s operations should be managed through application of special traffic control strategies and suitable land development guidelines in order to maintain travel efficiency, reliability, and safety for all users. In light of the special function that Regional Truck Routes serve in supporting cross-regional and interjurisdictional mobility and access, the network receives priority consideration for infrastructure investment in the Metro Atlanta region. Any access points between the development and a Regional Truck Route, combined with the development’s on-site circulation patterns, must be designed with the goal of preserving the highest possible level of capacity and safety for all users of the roadway.

NO

YES (*identify the roadways and existing/proposed access points*)

No access to the site is provided via a roadway identified as a Regional Truck Route.

04. If the development site is within one mile of an existing rail service, provide information on accessibility conditions.

Access between major developments and transit services provide options for people who cannot or prefer not to drive, expand economic opportunities by better connecting people and jobs, and can help reduce congestion. If a transit service is available nearby, but walking or bicycling between the development site and the nearest station is a challenge, the applicable local government(s) is encouraged to make the route a funding priority for future walking and bicycling infrastructure improvements.

NOT APPLICABLE (*nearest station more than one mile away*)

RAIL SERVICE WITHIN ONE MILE (*provide additional information below*)

Operator / Rail Line

Nearest Station

[Click here to enter name of operator and rail line](#)

Distance*

Within or adjacent to the development site (0.10 mile or less)

0.10 to 0.50 mile

0.50 to 1.00 mile

Walking Access*

Sidewalks and crosswalks provide sufficient connectivity

Sidewalk and crosswalk network is incomplete

Not applicable (*accessing the site by walking is not consistent with the type of development proposed*)

[Click here to provide comments.](#)

Bicycling Access*

Dedicated paths, lanes or cycle tracks provide sufficient connectivity

Low volume and/or low speed streets provide connectivity

Route follows high volume and/or high speed streets

Not applicable (*accessing the site by bicycling is not consistent with the type of development proposed*)

Transit Connectivity

Fixed route transit agency bus service available to rail station

Private shuttle or circulator available to rail station

No services available to rail station

Not applicable (*accessing the site by transit is not consistent with the type of development proposed*)

[Click here to provide comments.](#)

** Following the most direct feasible walking or bicycling route to the nearest point on the development site*

05. If there is currently no rail transit service within one mile of the development site, is nearby rail service planned in the fiscally constrained RTP?

Access between major developments and transit services provide options for people who cannot or prefer not to drive, expand economic opportunities by better connecting people and jobs, and can help reduce traffic congestion. If a transit agency operates within the jurisdiction and expansion plans are being considered in the general vicinity of the development site, the agency should give consideration to how the site can be best served during the evaluation of alignments and station locations. Proactive negotiations with the development team and local government(s) are encouraged to determine whether right-of-way within the site should be identified and protected for potential future service. If direct service to the site is not feasible or cost effective, the transit agency and local government(s) are encouraged to ensure good walking and bicycling access accessibility is provided between the development and the future rail line. These improvements should be considered fundamental components of the overall transit expansion project, with improvements completed concurrent with or prior to the transit service being brought online.

- NOT APPLICABLE (rail service already exists)
- NOT APPLICABLE (accessing the site by transit is not consistent with the type of development proposed)
- NO (no plans exist to provide rail service in the general vicinity)
- YES (provide additional information on the timeframe of the expansion project below)
 - CST planned within TIP period
 - CST planned within first portion of long range period
 - CST planned near end of plan horizon

[Click here to provide comments.](#)

06. If the development site is within one mile of fixed route bus services (including any privately operated shuttles or circulators open to the general public), provide information on walking and bicycling accessibility conditions.

Access between major developments and transit services provide options for people who cannot or prefer not to drive, expand economic opportunities by better connecting people and jobs, and can help reduce congestion. If a transit service is available nearby, but walking or bicycling between the development site and the nearest station is a challenge, the applicable local government(s) is encouraged to make the connection a funding priority for future walking and bicycling infrastructure improvements.

NOT APPLICABLE (nearest bus, shuttle or circulator stop more than one mile away)

SERVICE WITHIN ONE MILE (provide additional information below)

Operator(s) MARTA

Bus Route(s) 188

Distance* Within or adjacent to the development site (0.10 mile or less)

0.10 to 0.50 mile

0.50 to 1.00 mile

Walking Access* Sidewalks and crosswalks provide sufficient connectivity

Sidewalk and crosswalk network is incomplete

Not applicable (accessing the site by walking is not consistent with the type of development proposed)

[Click here to provide comments.](#)

Bicycling Access* Dedicated paths, lanes or cycle tracks provide sufficient connectivity

Low volume and/or low speed streets provide sufficient connectivity

Route uses high volume and/or high speed streets

Not applicable (accessing the site by bicycling is not consistent with the type of development proposed)

* Following the most direct feasible walking or bicycling route to the nearest point on the development site

07. Does a transit agency which provides rail and/or fixed route bus service operate anywhere within the jurisdiction in which the development site is located?

Access between major developments and transit services provide options for people who cannot or prefer not to drive, expand economic opportunities by better connecting people and jobs, and can help reduce traffic congestion. If a transit agency operates within the jurisdiction and a comprehensive operations plan update is undertaken, the agency should give consideration to serving the site during the evaluation of future routes, bus stops and transfer facilities. If the nature of the development is amenable to access by transit, walking or bicycling, but direct service to the site is not feasible or cost effective, the transit agency and local government(s) should ensure good walking and bicycling access accessibility is provided between the development and any routes within a one mile radius. The applicable local government(s) is encouraged to make these connections a funding priority for future walking and bicycling infrastructure improvements.

NO

YES

MARTA

08. If the development site is within one mile of an existing multi-use path or trail, provide information on accessibility conditions.

Access between major developments and walking/bicycling facilities provide options for people who cannot or prefer not to drive, expand economic opportunities by better connecting people and jobs, and can help reduce traffic congestion. If connectivity with a regionally significant path or trail is available nearby, but walking or bicycling between the development site and those facilities is a challenge, the applicable local government(s) is encouraged to make the route a funding priority for future walking and bicycling infrastructure improvements.

NOT APPLICABLE (nearest path or trail more than one mile away)

YES (provide additional information below)

- | | |
|-------------------|--|
| Name of facility | Chattahoochee Hill Country Regional Greenway Trail |
| Distance | <input type="checkbox"/> Within or adjacent to development site (0.10 mile or less)
<input type="checkbox"/> 0.15 to 0.50 mile
<input type="checkbox"/> 0.50 to 1.00 mile |
| Walking Access* | <input type="checkbox"/> Sidewalks and crosswalks provide connectivity
<input type="checkbox"/> Sidewalk and crosswalk network is incomplete
<input type="checkbox"/> Not applicable (accessing the site by walking is not consistent with the type of development proposed) |
| Bicycling Access* | <input type="checkbox"/> Dedicated lanes or cycle tracks provide connectivity
<input type="checkbox"/> Low volume and/or low speed streets provide connectivity
<input type="checkbox"/> Route uses high volume and/or high speed streets |

Not applicable (accessing the site by bicycling is not consistent with the type of development proposed)

* Following the most direct feasible walking or bicycling route to the nearest point on the development site

OTHER TRANSPORTATION DESIGN CONSIDERATIONS

09. Does the site plan provide for the construction of publicly accessible local road or drive aisle connections with adjacent parcels?

The ability for drivers and bus routes to move between developments without using the adjacent arterial or collector roadway networks can save time and reduce congestion. Such opportunities should be considered and proactively incorporated into development site plans whenever possible.

- YES (connections to adjacent parcels are planned as part of the development)
- YES (stub outs will make future connections possible when adjacent parcels redevelop)
- NO (the site plan precludes future connections with adjacent parcels when they redevelop)
- OTHER (Please explain)

10. Does the site plan enable pedestrians and bicyclists to move between destinations within the development site safely and conveniently?

The ability for walkers and bicyclists to move within the site safely and conveniently reduces reliance on vehicular trips, which has congestion reduction and health benefits. Development site plans should incorporate well designed and direct sidewalk connections between all key destinations. To the extent practical, bicycle lanes or multiuse paths are encouraged for large acreage sites and where high volumes of bicyclists and pedestrians are possible.

- YES (sidewalks provided on all key walking routes and both sides of roads whenever practical and bicyclists should have no major issues navigating the street network)
- PARTIAL (some walking and bicycling facilities are provided, but connections are not comprehensive and/or direct)
- NO (walking and bicycling facilities within the site are limited or nonexistent)
- NOT APPLICABLE (the nature of the development does not lend itself to internal walking and bicycling trips)
- OTHER (Please explain)

11. Does the site plan provide the ability to construct publicly accessible bicycling and walking connections with adjacent parcels which may be redeveloped in the future?

The ability for walkers and bicyclists to move between developments safely and conveniently reduces reliance on vehicular trips, which has congestion reduction and health benefits. Such opportunities should be considered and proactively incorporated into development site plans whenever possible.

- YES (connections to adjacent parcels are planned as part of the development)
- YES (stub outs will make future connections possible when adjacent parcels redevelop)
- NO (the development site plan does not enable walking or bicycling to/from adjacent parcels)
- NO (the site plan precludes future connections with adjacent parcels when they redevelop)
- NOT APPLICABLE (adjacent parcels are not likely to develop or redevelop in the near future)
- NOT APPLICABLE (the nature of the development or adjacent parcels does not lend itself to interparcel walking and bicycling trips)

12. Does the site plan effectively manage truck movements and separate them, to the extent possible, from the flow of pedestrians, bicyclists and motorists both within the site and on the surrounding road network?

The ability for delivery and service vehicles to efficiently enter and exit major developments is often key to their economic success. So is the ability of visitors and customers being able to move around safely and pleasantly within the site. To the extent practical, truck movements should be segregated by minimizing the number of conflict points with publicly accessible internal roadways, sidewalks, paths and other facilities.

- YES (truck routes to serve destinations within the site are clearly delineated, provide ample space for queuing and turning around, and are separated from other users to the extent practical)
- PARTIAL (while one or more truck routes are also used by motorists and/or interface with primary walking and bicycling routes, the site plan mitigates the potential for conflict adequately)
- NO (one or more truck routes serving the site conflict directly with routes likely to be used heavily by pedestrians, bicyclists and/or motorists)
- NOT APPLICABLE (the nature of the development will not generate a wide variety of users and/or very low truck volumes, so the potential for conflict is negligible)

RECOMMENDATIONS

13. Do the transportation network recommendations outlined in the traffic study appear to be feasible from a constructability standpoint?

- UNKNOWN (additional study is necessary)
- YES (based on information made available through the review process; does not represent a thorough engineering / financial analysis)

NO *(see comments below)*

[Click here to enter text.](#)

14. Is ARC aware of any issues with the development proposal which may result in it being opposed by one or more local governments, agencies or stakeholder groups?

NO *(based on information shared with ARC staff prior to or during the review process; does not reflect the outcome of an extensive stakeholder engagement process)*

YES *(see comments below)*

[Click here to enter text.](#)

15. ARC offers the following additional comments for consideration by the development team and/or the applicable local government(s):

None at this time.

Methodology Meeting Packet (MMP) – DRAFT

Fairburn Technology Center

DRI TBD

City of Fairburn, Georgia

Methodology Meeting:

May 20, 2024 @ 2:00 PM

Applicant:

Bohannon Road Venture, LLC

013805017

Kimley»Horn

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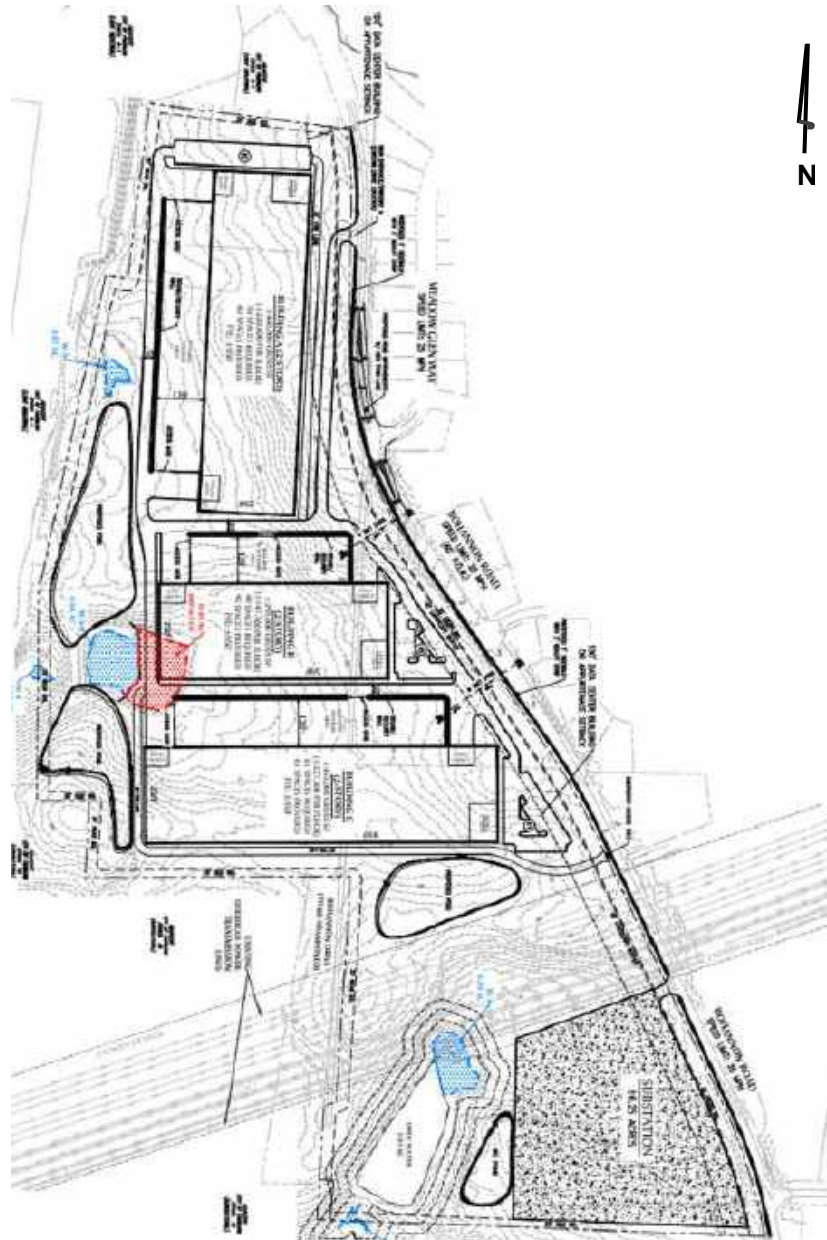
DRI Name & Number

Fairburn Technology Center
DRI #TBD

Methodology Meeting Date

May 20, 2024 @ 2:00 PM

Project Rendering



Project Orientation

Permitting Local Government	City of Fairburn
Additional Local Government(s) with development approval authority	N/A
DRI Trigger	Rezoning
DRI Trigger Application/Permit #	Application was filed on May 2nd
Qualifying DRI Threshold Exceeded	500,000 SF for Industrial
Existing Zoning	AG-1 (Agriculture)
Proposed Zoning	M-1 (Light Industrial)

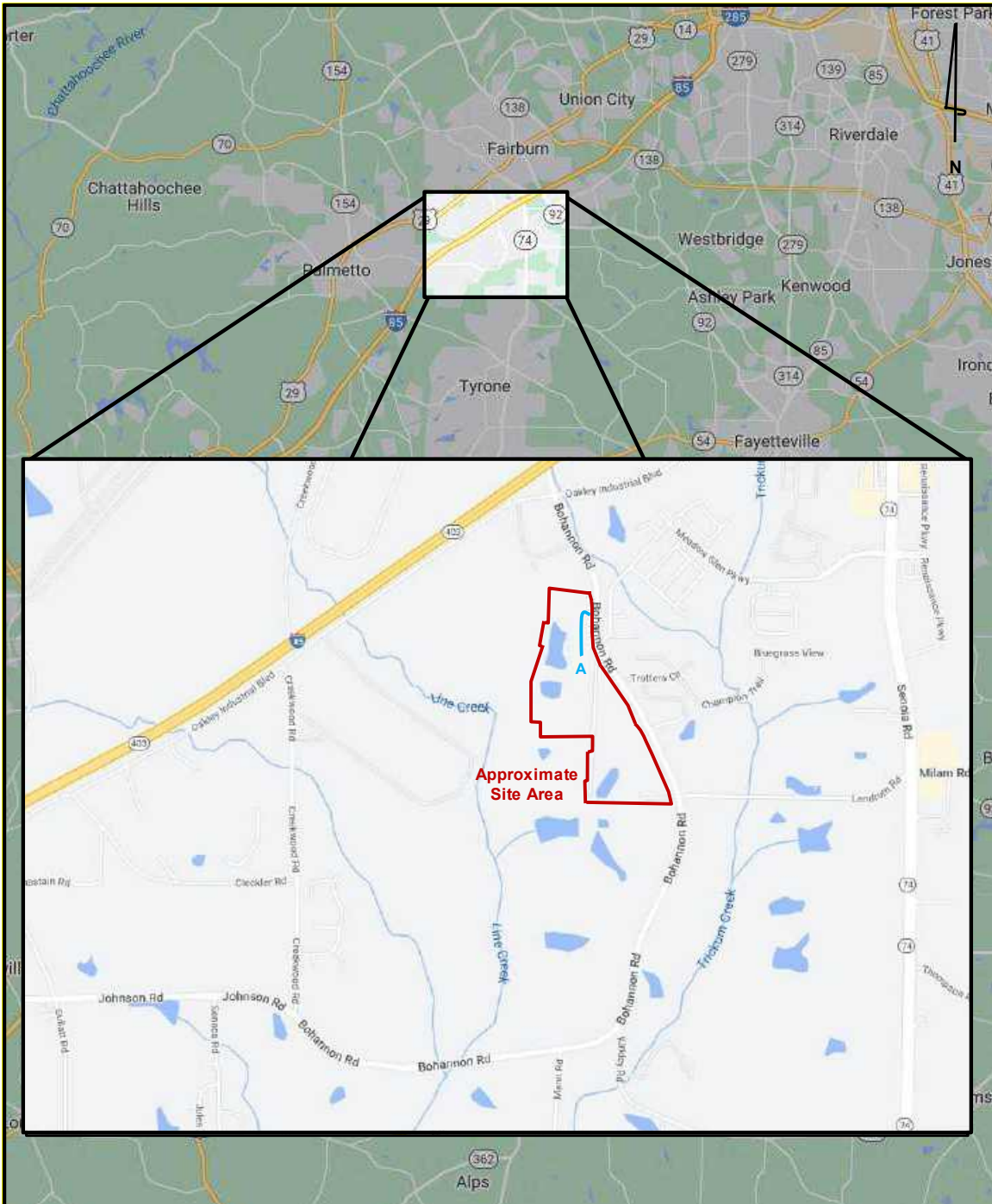
Project Information

Land Use	Density
Data Center	1,190,000 SF (total in 3 buildings)

Project Location

GPS Coordinates	33.533661, -84.590526
Location Description	South of Oakley Industrial Boulevard, west of Bohannon Road, north of Landrum Road
Site Acreage	Approximately 59.68 acres
Unified Growth Policy Map Land Use Area Designation	Developing Suburbs
Neighboring Jurisdictions	Town of Tyrone, Fayette County (.5 miles south), City of South Fulton (1 mile east), City of Palmetto (2 miles west), Coweta County (2.3 miles southwest)

Project Orientation Map



Project Driveways & Access Points

Driveway Name	EX/PR	Along	Movements	Location
Driveway A	Existing (Residential)	Bohannon Road	Full	Approx 500' n/o Meadow Glen Way

Note: The project also proposes an emergency access approximately 1,200' south of Meadow Glen Way, and a service drive to the substation approximately 1,550' south of Meadow Glen Way.

Project Build Out Year & Phase(s)

Build Out Year	2028
Phases	One phase

Net Average Daily Trips (ADT) & Requested Review Schedule

Net Average Daily Trips (ADT)	1,178 (589 entering, 589 exiting)
Requested Review Schedule	GRTA – Expedited (15 business days) – Less than 3,000 trips per day (see page 12) ARC – Non-Expedited Review (25 calendar days)
Requested Transportation Study Type	Transportation Impact Study

Government Stakeholders

GRTA	GDOT
ARC	Fulton County
City of Fairburn	South Fulton CID

Applicant Stakeholders (Section 1.2.2)

Applicant	Will Casaday	Bohannon Road Venture, LLC
Applicant	Josh Thorton	Bohannon Road Venture, LLC
Civil Engineer	John Wise	Paulson Mitchel, Inc
Attorney	Henry Bailey	Troutman Pepper
Traffic Engineer	Harrison Forder	Kimley-Horn
Traffic Engineer	John Walker	Kimley-Horn
Traffic Engineer	Jessica Didier	Kimley-Horn

Applicant Email & Mailing Address

William Casaday
william.casaday@gmail.com
600 Peachtree St NE, Suite 3000
Atlanta, GA 30308

Planning Context

Programmed Projects

Project Name	From / To Points:	Sponsor	GDOT PI #	ARC ID # (TIP)	Design FY	ROW / UTL FY	CST FY
I-85 at SR 74	Interchange Improvement	GDOT/City of Fairburn	0007841	FS-AR-182	2012/2016	2019/2025	2025

Programmed Project Attached Design Documents

- A concept graphic for the I-85 at SR 74 interchange improvements project is shown in **Attachment C**.


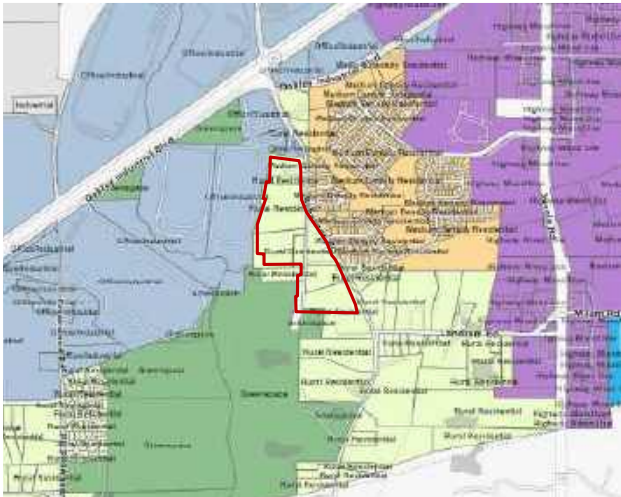
Transportation Project Interaction with DRI

- N/A

Planned Projects

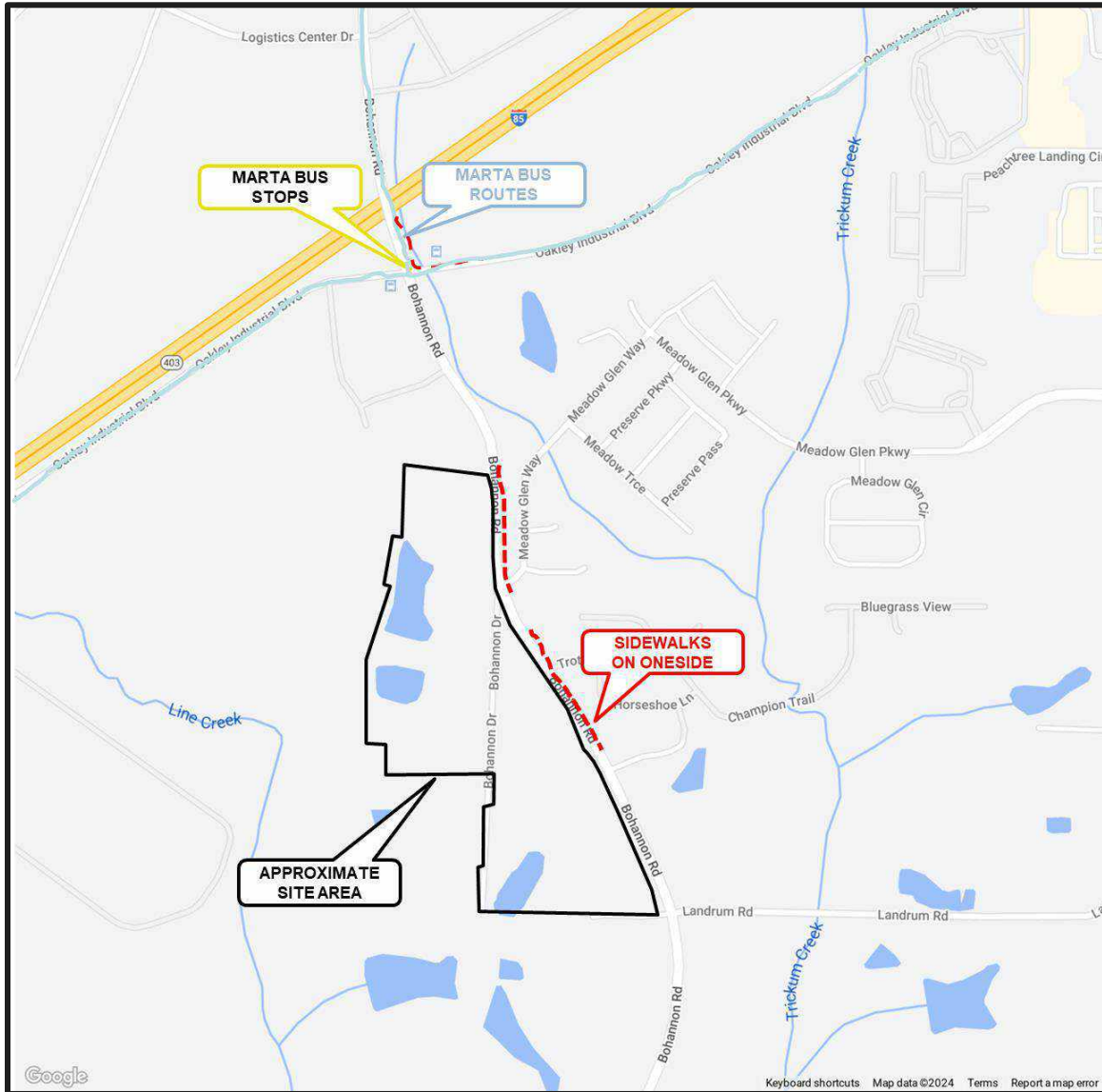
Project Name	From / To Points:	Potential Sponsor	GDOT PI #	TRRC ID # (TIP)	Project Timeline	Planning Document
Oakley Industrial Boulevard Extension (Design)	From Creekwood to Gullatt Road	South Fulton CID	-	-	-	CID Website
Gullatt Road Interchange (IJR)	I-85	South Fulton CID	0019795	-	-	CID Website

Land Use and Zoning

<p>Existing Zoning</p>	<p>Agriculture (AG)</p> 
<p>Future Land Use Map Zoning:</p>	<p>Rural Residential</p> 
<p>Land Use Vision & Goals:</p>	<p>The Fairburn 2040 Comprehensive Plan states that the future land use is to be rural residential. This residential character area is meant to preserve a rural feel and transition to the very low-density uses in the rural areas surrounding the city. The site is located adjacent to the office-industrial land-uses, which are compatible for data center developments.</p>
<p>Relation to Existing Land Use Plans:</p>	<p>The site is currently zoned for agriculture. The rezoning will have the site zoned as light industrial, with a future land use of office/industrial. The data center will comply with the light industrial zoning. The light industrial use will blend with adjacent industrial parcels.</p>
<p>Chattahoochee River/ Metropolitan River Protection Act</p>	<p>N/A</p>

Alternative Mode Access

Existing Alternative Transportation Map



Bicycle and Pedestrian Context

Description of Existing Infrastructure

Bicycle	No bicycle facilities provided along site frontage.
Pedestrian	There is 0.15 miles of sidewalk on the opposing side of the site. It is for recreational purposes for the adjacent neighborhood. The sidewalk begins 187' south of Meadow Glen Way and ends south of 982' south of Meadow Glen Way.

Sidewalk & Streetscape Ordinance Standards

Fairburn Code of Ordinances – Section [71-46](#) (Sidewalks)

- a) Sidewalks are required on all street frontages regardless of the zoning district in which the street is located.
- b) Any person who applies for a building permit or land disturbance permits for any of the projects or improvements listed below, regardless of the zoning district, on a lot where sidewalks meeting the requirements of the code of ordinances do not exist, shall submit plans to construct sidewalks indicating the location of the sidewalk as it extends along the length of the applicant's property. Applicable projects or improvements are as follows:
 - 1) Construction of a new building or structure;
 - 2) Land disturbance activity.
- c) All sidewalks shall have a minimum width of five feet (unless otherwise provided in this chapter) and shall be constructed to comply with the requirements of the Americans with Disabilities Act (ADA) standards, city's development standards and be subject to review and approval by the city engineer and/or director of building.
- d) A reduction in sidewalk width and location or an exemption from sidewalk requirement may be approved by the city engineer and/or director of building upon written request for the following:
 - 1) Harmony with the existing infrastructure;
 - 2) Topography;
 - 3) Right-of-way restrictions;
 - 4) Conflict with the recorded plat;
 - 5) Affects the health, safety and welfare of the general public.

Fairburn Code of Ordinances – Section [71-48](#) (Street Lighting)

The developer shall provide all necessary street lighting in accordance with the standards of the American National Standard Practice for Roadway Lighting, current edition, but in no case less restrictive than one fixture at each street intersection and at an interval not exceeding one fixture for every 400 feet of roadway. The design calculations shall be submitted with the construction plans, consider the presence of older-aged drivers, and be approved prior to installation. The developer shall provide such lighting at no cost to the city.

Potential Pedestrian & Bicycle Destinations

- Marta Bus Stops approximately 1/4 mile north of the site.

Transit Accommodations

Existing Transit Routes

Route #	Service Locations
188	Local Service that operates North/South from College Park MARTA rail station to Fairburn Park and Ride

Existing High Capacity Transit Stations

Station	Access via
College Park MARTA Station	Red and Gold Line, MARTA Route 188 (13.3 miles from site)

Existing Transit Service Details

Route	Operating Days	Span	Peak Headway
188	MON-FRI	5:30 AM – 9:05 AM/3:20 PM – 7:05 PM	45 minutes
	SAT	6:15 AM – 9:05 AM/3:20 PM – 7:05 PM	45 minutes
	SUN	6:15 AM – 9:05 AM/3:20 PM – 7:05 PM	45 minutes

Proposed Pedestrian Route to Access Transit

- N/A

Transit Stop Ridership

Existing	+ 2 boardings/2 alightings daily
-----------------	----------------------------------

Transit Stop Amenity Standards

- MARTA Bus Stop Sign – all bus stops are marked with a sign, contact for customer service and bus schedule information (MARTA Service Standards FY 2020, p. 30).
- Bench and Shelter Installation – riders can provide input for the placement of shelters, which must consider the following factors for urban, suburban, and rural areas: ridership, span of service, trip frequency, proximity to other shelters, Title VI compliance, local land use. Additionally, installation shall be considered based on the following constraints: site must accommodate a concrete pad and set back 10 feet from roadway, be ADA compliant and wheelchair accessible, not be next to a guardrail, barrier, or fire hydrant, not block vehicular traffic, and comply with all other local jurisdictional requirements including ordinances and design guidelines. Additionally, MARTA ([MARTA Service Standards FY 2020, p. 30](#)).
 - Note: FY 2019 noted specific ridership requirements of at least 15 boardings per day for a bench, and at least 25 boardings per day for a shelter.

Trip Generation & Adjustments

Trip Generation Inputs

- ITE Trip Generation Manual Used
- ITE Land Use Code(s)
- ITE Independent Variable Inputs for each Land Use Code
- Day & Time of Day of ITE Surveys
- ITE Trip Generation Formula Used

LUC	Land Use	Ind. Variable	Type	DAILY	AM	PM
				Weekday	Weekday, Peak of Adj. Street Traffic	
					7AM-9AM	4PM-6PM
160	Data Center	Per 1,000 SF	Total	0.99x 50% In/50% Out	0.13x-5.63 55% In/45% Out	0.11x-5.65 30% In/70% Out

*All rates and equations listed are from the ITE Trip Generation Manual, 11th Edition.

Trip Generation Calculation Alternative Approaches

Gross Trip Generation Summary Table:	Daily	AM Peak	PM Peak
Gross Trips	1,178	149	125
<i>Alt. Mode</i>	-0	-0	-0
<i>Mixed Use</i>	-0	-0	-0
<i>Pass-by</i>	-0	-0	-0
Net Trips	1,178 <i>(589 in; 589 out)</i>	149 <i>(82 in; 67 out)</i>	125 <i>(38 in; 87 out)</i>

- See **Attachment A** for a full trip generation table shown by land use and peak.

Trip Generation Reductions

Existing Square Footage to be demolished/redeveloped

- N/A

Alternative Mode Reduction

Contributing Factors

Summary of Existing and Proposed Bicycle / Pedestrian / Transit

- Pedestrian facilities will be provided internal to the development.
- No continuous sidewalks provided between development and MARTA Route 188

Parking Requirements

Land Use	Min	Max
Data Center	50% of Max Parking	1 space per 2,500 SF for first 150,000 SF + 1 space per 7,500 SF after

Alternative Parking Provided (e.g., car share, vanpool, etc. If applicable)

- N/A

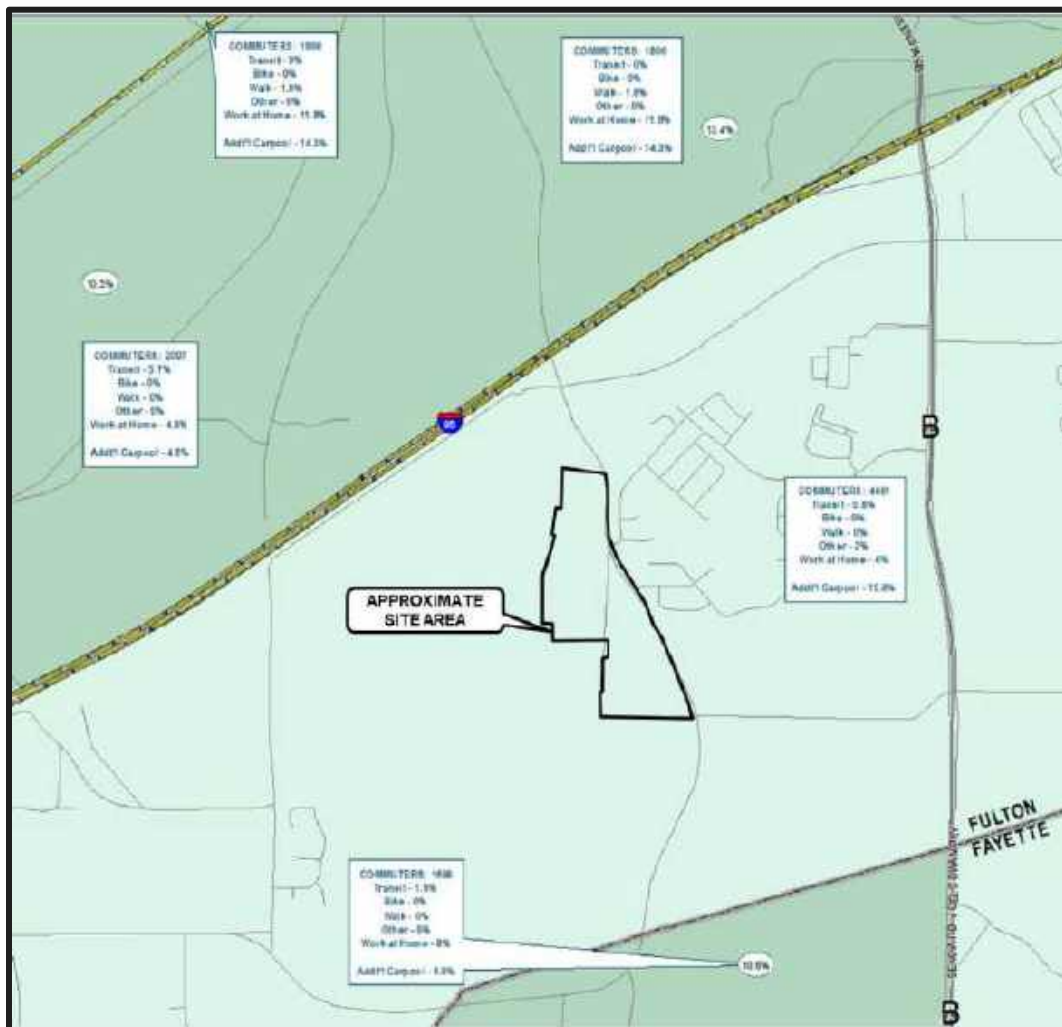
Affordable Housing

- N/A

Transportation Demand Management

- N/A

Supplemental Commuter Data



Proposed Reduction Percentage

- 0% (no reduction is proposed).

Proposed Reduction Justification Explanation

- MARTA Route 188 is in the area, however, there is not a sidewalk connection from the site to the bus stops.

Internal Capture / Mixed Use Reduction

- Only one land-use on site, no mixed-use reduction is proposed.

Pass-by Trips Reduction

Proposed Pass-by Trips Table:

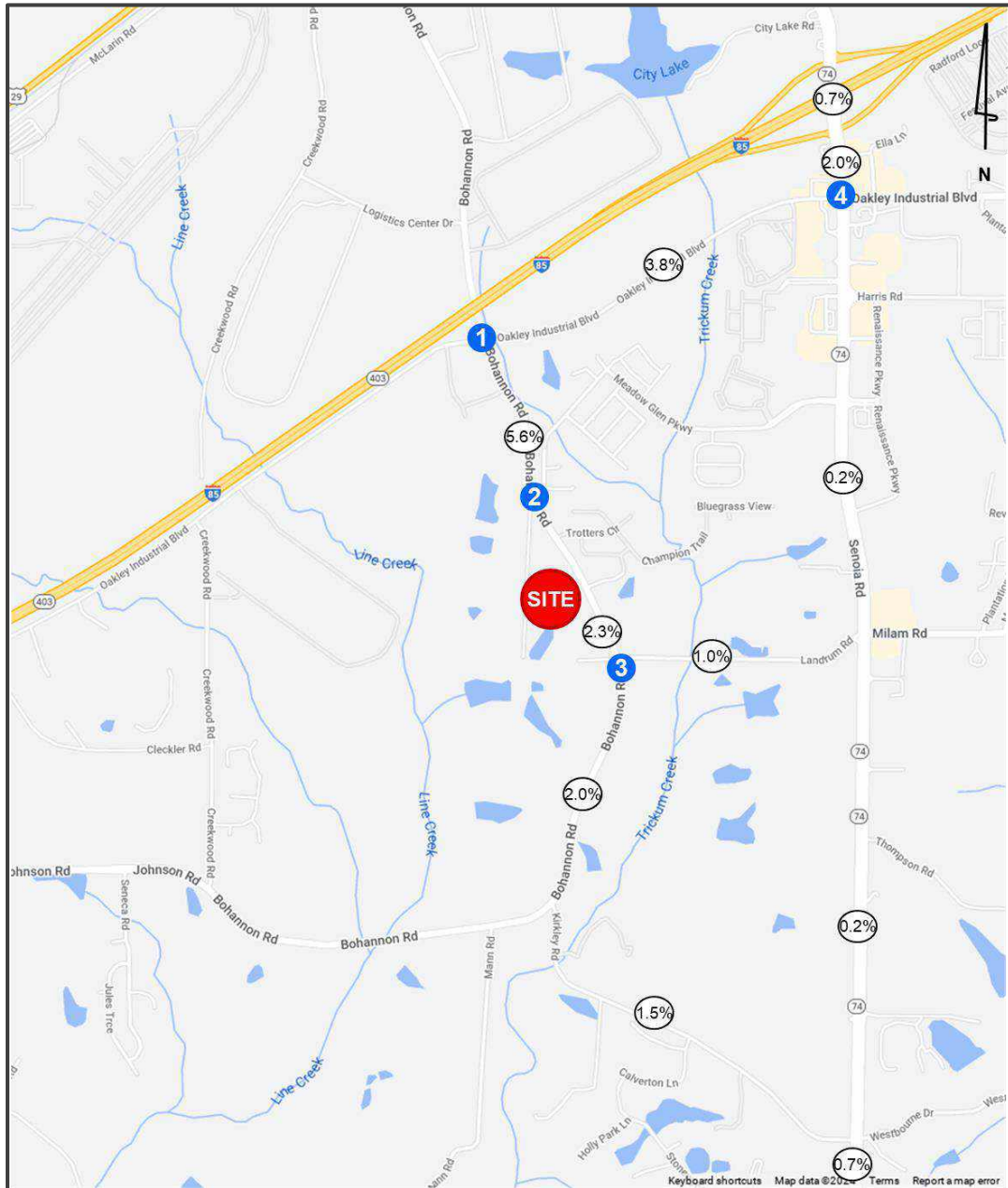
- N/A

Draft Study Network

Study Network 7% Table

Roadway	From	To	Lanes	Class	Service Vol	Adj. Vol	%
Bohannon Road	Site Driveways	Oakley Industrial Boulevard	2	Local	14,600	14,600	5.2%
Bohannon Road	Site Driveway	Meadow Glen Parkway	2	Local	14,600	14,600	2.8%
Bohannon Road	Meadow Glen Parkway	Landrum Rd	2	Local	14,600	11,680	3.5%
Bohannon Road	Landrum Road	Kirkley Road	2	Local	14,600	11,680	1.5%
Senoia Road (SR 74)	Sandy Creek Road	Kirkley Road	4	Principal Arterial	35,000	35,000	0.7%
Senoia Road (SR 74)	Kirkley Road	Landrum Rd	4	Principal Arterial	35,000	35,000	0.3%
Senoia Road (SR 74)	Landrum Rd	Oakley Industrial Boulevard	4	Principal Arterial	32,500	32,500	0.2%
Senoia Road (SR 74)	Oakley Industrial Boulevard	I-85 NB Ramps	4	Principal Arterial	32,500	32,500	2.0%
Senoia Road (SR 74)	I-85 NB Ramps	I-85 SB Ramps	4	Principal Arterial	32,500	32,500	0.7%
Oakley Industrial Boulevard	Bohannon Road	Senoia Road (SR 74)	2	Local	14,600	15,330	3.8%
Landrum Rd	Bohannon Road	Senoia Road (SR 74)	2	Local	14,600	11,680	2.0%
Kirkley Road	Bohannon Road	Senoia Road (SR 74)	2	Local	14,600	11,680	1.0%

Study Network Map



Roadway	Ownership
I-85 Ramps	GDOT
SR 74/Senoia Road	GDOT
Oakley Industrial Boulevard	Fulton County
Bohannon Road	Fulton County
Meadow Glean Parkway	Fulton County
Landrum Road	Fulton County

Intersection	Existing Control
1. Bohannon Road at Oakley Industrial Boulevard	Unsignalized (AWSC)
2. Bohannon Road at Meadow Glen Way	Unsignalized (TWSC)
3. Bohannon Road at Landrum Road	Unsignalized (TWSC)
4. SR 74/Senoia Road at Oakley Industrial Boulevard	Signalized

Site driveways will also be analyzed under Build conditions.

Proposed Study Network Additions or Deletions

- TBD at Methodology Meeting

Level of Service Standard(s)

- The overall LOS standard is LOS D for all proposed study intersections.

Adjustments for Unified Growth Policy Map or ½ mi. of High Capacity Transit Station

- N/A

Scenario Modeling

Background Growth

Proposed Background Growth Rate

- Assume 2.0% per year for four (4) years.

Historic Traffic Count Growth Data

- See **Attachment B**.

Nearby Developments or DRIs Underway (to be discussed)

- Project Rita DRI #4094
 - 504,600 SF of Data Center space, located at NW quadrant of Kirkley Road at SR 74
- Highway 74 Business Tech Park DRI #3628
 - 738,882 SF of Industrial Warehouse space in NE Quadrant of Hwy 74 @ Jenkins

Multiple Growth Rate Accommodations

- 2.0% background growth

Analysis Scenarios

- 2024 Existing (with no COVID adjustment, per GDOT policy)
- 2028 No-Build (2.0% background growth)
- 2028 Build (2.0% background growth plus project trips associated with the Fairburn Technology Park development)

Programmed Transportation Project Modeling

- N/A

Pedestrian Crosswalk Adjustment Factor

- N/A

Vehicle Delay Factor for Transit Vehicles and/or Other Curbside Usage

- N/A

Enhanced Focus Area for Dense Urban Environments

- N/A

Proposed Curbside Management Approach

- N/A

Proposed Modeling Adjustments

- N/A

Enhanced Focus Area for Heavy Vehicles – N/A – limited heavy vehicles anticipated.

Proposed Truck Routing:

- N/A

Heavy Vehicle Modeling Percentage:

- N/A

ITE Trip Generation Formula Used

- N/A

Site Access Analysis for Pavement Condition, Roadway Width, and Corner Radii:

- N/A

Proposed Pedestrian Infrastructure:

- N/A

Proposed Traffic Count Approach

Proposed Collection Date(s)

- Counts collected on Tuesday, January 30th.

Local School Schedule(s)

- Fulton County School Schedule:
 - Remote Day – November 7
 - Thanksgiving Break – November 20 through November 24
 - Last Day of the Semester – December 15
 - First Day of the Semester – January 3
 - Martin Luther King Jr. Holiday – January 15
 - Student Off Day – January 16
- Fayette County School Schedule:
 - Thanksgiving Break – November 20 through November 24
 - Last Day of the Semester – December 15
 - First Day of the Semester – January 3
 - Martin Luther King Jr. Holiday – January 15

New Counts

- Bohannon Road at Oakley Industrial Boulevard
- Bohannon Road at Meadow Glen Way
- Bohannon Road at Landrum Road
- Senoia Road (SR 74) at Oakley Industrial Boulevard

COVID-19 Approach

- Per GDOT Policy issued on July 15, 2022, traffic forecasts based on new traffic count data collected after the start of the Fall 2022 school year will no longer be required to follow COVID-19 policy procedures.

Draft Schedule

DRI Phase I – Methodology	
Notice to Proceed to Kimley-Horn for Phase I	January 23, 2024
City of Fairburn Requests the DRI Pre-Review/Methodology Meeting/ City of Fairburn submits DRI Form 1	February 12
Methodology Meeting Packet is Circulated by GRTA/ARC#	February 26
Pre-Review/Methodology Meeting at ARC's office (TEAMS Call) with GRTA, ARC, GDOT, City of Fairburn and Fulton County	May 20
GRTA issues the "Letter of Understanding" that outlines the full scope of the Transportation Analysis.	May 28
DRI Phase II – Transportation Study	
Proceed with Phase II per GRTA LOU	May 28
City of Fairburn submits DRI "Form 2"	July 8
Full DRI Package (Transportation Analysis and Site Plan) is submitted to GRTA and TRRC for review.	July 15, 2024
ARC opens their review (Preliminary Report)	July 22
GRTA issues the "Staff Report and Recommendations"	July 25
Meeting at GRTA's office to discuss the GRTA proposed conditions	Week of July 29
GRTA issues the "Notice of Decision" (NOD). **	Aug 5
ARC issues their "Final Findings". **	Aug 9
DRI Complete - Local jurisdictional action can occur	August 10, 2024

*A delay with this date will result in a delay in all subsequent dates that follow.

**Assumes a 25-calendar day ARC review, and an approximate 15-business day GRTA review (excluding state holidays)

Attachment A: Trip Generation

Trip Generation Analysis (11th Ed. with 2nd Edition Handbook Daily IC & 3rd Edition AM/PM IC)								
Fairburn Data Center DRI #XXX								
City of Fairburn								
Land Use	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total	In	Out	Total	In	Out
Proposed Site Traffic								
160 Data Center	1,190,000 gross s.f.	1,178	149	82	67	125	38	87
Gross Trips		1,178	149	82	67	125	38	87
Other Non-Residential Trips		1,178	149	82	67	125	38	87
Mixed-Use Reductions		0	0	0	0	0	0	0
Alternative Mode Reductions		0	0	0	0	0	0	0
Adjusted Other Non-Residential Trips		1,178	149	82	67	125	38	87
Mixed-Use Reductions - TOTAL		0	0	0	0	0	0	0
Alternative Mode Reductions - TOTAL		0	0	0	0	0	0	0
Pass-By Reductions - TOTAL		0	0	0	0	0	0	0
New Trips		1,178	149	82	67	125	38	87
Driveway Volumes		1,178	149	82	67	125	38	87

Attachment B: Growth Calculations

Fairburn Data Center DRI #XXX Growth Rate Table														
<table border="1"> <tr><td>Source:</td><td>SOOT</td></tr> <tr><td>Location:</td><td>Lacrum Court w/ Deborah Road</td></tr> <tr><td>Route #:</td><td></td></tr> <tr><td>Route Type:</td><td>Local (Urban)</td></tr> <tr><td>Station:</td><td>121.8511</td></tr> <tr><td>Capacity:</td><td></td></tr> </table>			Source:	SOOT	Location:	Lacrum Court w/ Deborah Road	Route #:		Route Type:	Local (Urban)	Station:	121.8511	Capacity:	
Source:	SOOT													
Location:	Lacrum Court w/ Deborah Road													
Route #:														
Route Type:	Local (Urban)													
Station:	121.8511													
Capacity:														
Count Year	Volume	Growth Rate												
2014	1,120													
2016	1,150	2.64%												
2017	1,170	1.74%												
2018	1,190	1.71%												
2019	2,300	11.23%												
Avg. 1 Year Rates 2014-2019		15.46%												
<table border="1"> <tr><td>Source:</td><td>SOOT</td></tr> <tr><td>Location:</td><td>Goetz Road w/ Reservoir Loop Hwy</td></tr> <tr><td>Route #:</td><td>0507400</td></tr> <tr><td>Route Type:</td><td>Principal Arterial</td></tr> <tr><td>Station:</td><td>121.6378</td></tr> <tr><td>Capacity:</td><td></td></tr> </table>			Source:	SOOT	Location:	Goetz Road w/ Reservoir Loop Hwy	Route #:	0507400	Route Type:	Principal Arterial	Station:	121.6378	Capacity:	
Source:	SOOT													
Location:	Goetz Road w/ Reservoir Loop Hwy													
Route #:	0507400													
Route Type:	Principal Arterial													
Station:	121.6378													
Capacity:														
Count Year	Volume	Growth Rate												
2014	34,408													
2016	35,209	3.19%												
2017	37,409	3.99%												
2018	41,208	9.94%												
2019	41,508	0.73%												
Avg. 1 Year Rates 2014-2019		3.23%												
<table border="1"> <tr><td>Source:</td><td>SOOT</td></tr> <tr><td>Location:</td><td>1.8410 CR Camp w/ SH74/Sentinel Rd</td></tr> <tr><td>Route #:</td><td></td></tr> <tr><td>Route Type:</td><td>PRINCIPAL (URBAN)</td></tr> <tr><td>Station:</td><td>121.4145</td></tr> <tr><td>Capacity:</td><td></td></tr> </table>			Source:	SOOT	Location:	1.8410 CR Camp w/ SH74/Sentinel Rd	Route #:		Route Type:	PRINCIPAL (URBAN)	Station:	121.4145	Capacity:	
Source:	SOOT													
Location:	1.8410 CR Camp w/ SH74/Sentinel Rd													
Route #:														
Route Type:	PRINCIPAL (URBAN)													
Station:	121.4145													
Capacity:														
Count Year	Volume	Growth Rate												
2014	3,830													
2016	3,740	-2.35%												
2017	3,870	3.38%												
2018	4,530	17.05%												
2019	4,690	3.54%												
2019	5,580	20.41%												
Avg. 1 Year Rates 2014-2019		9.45%												
<table border="1"> <tr><td>Source:</td><td>SOOT</td></tr> <tr><td>Location:</td><td>485 SB w/ SH74/Goetz Rd</td></tr> <tr><td>Route #:</td><td></td></tr> <tr><td>Route Type:</td><td>Interstate (Urban)</td></tr> <tr><td>Station:</td><td>121.1141</td></tr> <tr><td>Capacity:</td><td></td></tr> </table>			Source:	SOOT	Location:	485 SB w/ SH74/Goetz Rd	Route #:		Route Type:	Interstate (Urban)	Station:	121.1141	Capacity:	
Source:	SOOT													
Location:	485 SB w/ SH74/Goetz Rd													
Route #:														
Route Type:	Interstate (Urban)													
Station:	121.1141													
Capacity:														
Count Year	Volume	Growth Rate												
2014	22,630													
2016	21,810	-3.64%												
2017	22,330	2.39%												
2018	24,910	11.55%												
2019	25,330	1.61%												
2019	25,330	0.00%												
Avg. 1 Year Rates 2014-2019		2.25%												
<table border="1"> <tr><td>Source:</td><td>SOOT</td></tr> <tr><td>Location:</td><td>Sentinel Rd w/ Kimley Rd</td></tr> <tr><td>Route #:</td><td>0507400</td></tr> <tr><td>Route Type:</td><td>Principal Arterial</td></tr> <tr><td>Station:</td><td>115.4113</td></tr> <tr><td>Capacity:</td><td></td></tr> </table>			Source:	SOOT	Location:	Sentinel Rd w/ Kimley Rd	Route #:	0507400	Route Type:	Principal Arterial	Station:	115.4113	Capacity:	
Source:	SOOT													
Location:	Sentinel Rd w/ Kimley Rd													
Route #:	0507400													
Route Type:	Principal Arterial													
Station:	115.4113													
Capacity:														
Count Year	Volume	Growth Rate												
2014	32,708													
2016	33,704	3.06%												
2017	34,808	3.26%												
2018	35,609	2.30%												
2019	35,508	-0.28%												
2019	37,608	5.63%												
Avg. 1 Year Rates 2014-2019		2.76%												
<p>Fullon County Population Annual Growth (2000-2010): 1.21%</p> <p>Fullon County Population Annual Growth (2010-2020): 1.43%</p> <p>Fairburn Population Annual Growth (2000-2010): 3.01%</p> <p>Fairburn Population Annual Growth (2010-2020): 2.41%</p> <p>Wilson Commerce Center DRI #2879 Growth Rate: 1.0%</p>														
<table border="1"> <tr> <td>CHOSEN GROWTH RATE: 2%</td> </tr> </table>			CHOSEN GROWTH RATE: 2%											
CHOSEN GROWTH RATE: 2%														

Attachment C: Aerial Imagery



Attachment D: Programmed Roadway Projects and Concept Graphics





[Blog](#) [News](#) [Contact Us](#)

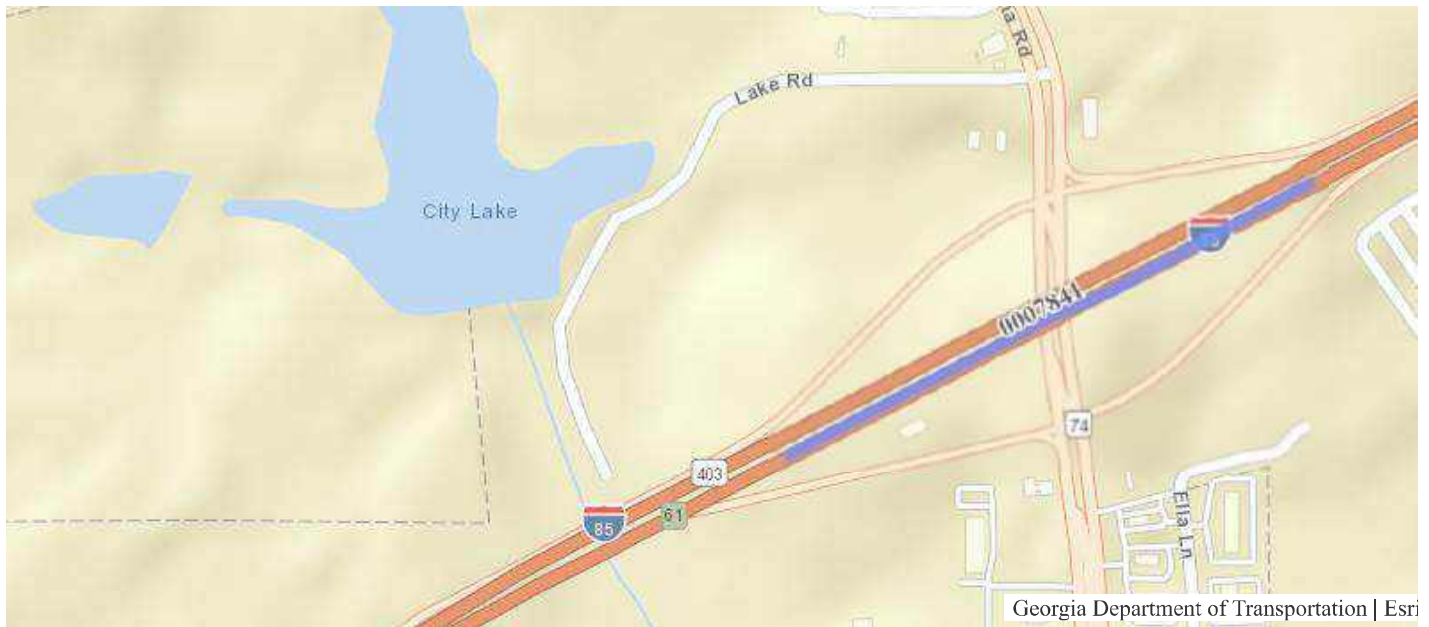
I-85 @ SR 74/SENOIA ROAD

Project ID:	0007841	Notice to Proceed Date:	
Project Manager:	Ashley M. Willoughby	Construction Percent Complete:	%
Office:	Program Delivery	Current Completion Date:	
County:	Fulton	Work Completion Date:	
Congressional District:	013	Construction Contract Amount:	
State Senate District.:	035	Construction Contractor:	
State House District:	064, 065	Preconstruction Status Report	
Project Type:	Reconstruction/Rehabilitation	Construction Status Report	
Project Status:	Construction Work Program		
Right of Way Authorization:	4/1/2019	Contact Us	

Project Description:

The proposed project is approximately 1.4 miles along SR 74 from City Lake Road to Milam Road. The project includes the modification of the SR 74 and 1-85 interchange to a partial clover leaf, with loop ramps in the southwest and northeast quadrants. Both bridges on SR 74 over 1-85 will be replaced.

Activity	Program Year	Cost Estimate	Date of Last Estimate
SCP (Scoping)	2011	\$50,000.00	
PE (Preliminary Engineering)	2012	\$1,463,376.93	4/29/2021
PE (Preliminary Engineering)	2016	\$1,614,466.00	4/29/2021
ROW (Right of Way)	2019	\$16,693,863.00	8/13/2018
ROW (Right of Way)	2020	\$13,666,137.00	8/13/2018
UTL (Utilities)	2025	\$412,335.00	7/31/2023
CST (Construction)	2025	\$91,699,451.10	12/21/2023



Project Documents
Approved Concept Reports
0007841_CR_AUG2014.pdf
0007841_L&D_AUG2018.pdf
0007841_Ads_GA_Public_SEP2018.pdf
Project Outreach Archive
Handout.pdf
0007841_NEPA_PIOH Layout 2_2012.2.28.pdf
0007841_NEPA_PIOH Handout_2012.2.28.pdf
0007841_NEPA_PIOH Layout 1_2012.2.28.pdf



Georgia Department of Transportation
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Short Title I-85 SOUTH INTERCHANGE IMPROVEMENTS AT SR 74 (SENOIA ROAD)

GDOT Project No. 0007841

Federal ID No. CSNHS-0007-00(841)

Status Programmed

Service Type Roadway / Interchange Capacity

Sponsor City of Fairburn

Jurisdiction Regional - Southwest

Analysis Level In the Region's Air Quality Conformity Analysis



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Existing Thru Lane **LCI**

Planned Thru Lane **Flex**

Network Year

Corridor Length miles

Detailed Description and Justification

This is an interchange reconstruction to reduce congestion and provide capacity to the I-85 @ SR 74. The project involves adding turn lanes at the ends of the exit ramps and widening the SR 74 bridge to include turn lanes. The interchange will be a partial cloverleaf design as recommended in the Interchange Modification Report (IMR).

Phase Status & Funding Information		Status	FISCAL YEAR	TOTAL PHASE COST	BREAKDOWN OF TOTAL PHASE COST BY FUNDING SOURCE			
					FEDERAL	STATE	BONDS	LOCAL/PRIVATE
SCP	National Highway System	AUTH	2011	\$50,000	\$40,000	\$10,000	\$0,000	\$0,000
PE	National Highway System	AUTH	2012	\$1,463,377	\$1,170,702	\$292,675	\$0,000	\$0,000
PE	Surface Transportation Block Grant (STBG) Program - Urban (>200K) (ARC)	AUTH	2016	\$852,000	\$681,600	\$170,400	\$0,000	\$0,000
PE	Surface Transportation Block Grant (STBG) Program - Urban (>200K) (ARC)	AUTH	2017	\$187,500	\$150,000	\$37,500	\$0,000	\$0,000
PE	Surface Transportation Block Grant (STBG) Program - Urban (>200K) (ARC)	AUTH	2021	\$574,966	\$459,973	\$114,993	\$0,000	\$0,000
PE	Surface Transportation Block Grant (STBG) Program - Urban (>200K) (ARC)	AUTH	2023	\$250,000	\$200,000	\$50,000	\$0,000	\$0,000
ROW	National Highway Performance Program (NHPP)	AUTH	2019	\$16,693,863	\$13,355,090	\$3,338,773	\$0,000	\$0,000
ROW	National Highway Performance Program (NHPP)	AUTH	2020	\$13,666,137	\$10,932,910	\$2,733,227	\$0,000	\$0,000

UTL	National Highway Performance Program (NHPP)		2025	\$408,565	\$326,852	\$81,713	\$0,000	\$0,000
CST	National Highway Freight Program (NHFP)		2025	\$35,500,000	\$28,400,000	\$7,100,000	\$0,000	\$0,000
CST	Surface Transportation Block Grant (STBG) Program - Urban (>200K) (ARC)		2025	\$20,117,797	\$16,094,238	\$4,023,559	\$0,000	\$0,000
				\$89,764,205	\$71,811,365	\$17,952,840	\$0,000	\$0,000

SCP: Scoping PE: Preliminary engineering / engineering / design / planning PE-OV: GDOT oversight services for engineering ROW: Right-of-way Acquisition
 UTL: Utility relocation CST: Construction / Implementation ALL: Total estimated cost, inclusive of all phases



For additional information about this project, please call (404) 463-3100 or email transportation@atlantaregional.com.





Attachment E: Full-Size Site Plan



Andre Dickens
MAYOR

CITY OF ATLANTA
DEPARTMENT OF WATERSHED MANAGEMENT
72 Marietta Street, NW
Atlanta, Georgia 30303

Mikita K. Browning
COMMISSIONER

May 14, 2024

Greg Tolan
Paulson Mitchell
85-A Mill St. Suite 200
Roswell, GA 30075

RE: Bohannon Road Development Fairburn GA

Dear Greg:

City of Atlanta records indicate that there is an existing **12 inch** water main located **BOC** along the **west side** of **Bohannon Rd.** This water main is owned and maintained by the City of Atlanta. A basis of design document will be required to be completed and a fire flow test performed at the site location, to determine if the system can support your water service request.

Please note that the conclusions reached in this letter are based upon the City's best available information regarding the location and condition of the utilities. However, actual site conditions may vary and will require independent site verification before construction by the Developer or the contractor. The City makes no representation or warranties as to the accuracy of information provided.

Should additional information be required, please contact Jarrell Thornton at 404-546-3249

Sincerely,

RahShad Coles

RahShad Coles
Engineering Aid Sr., Department of Watershed Management



Andre Dickens
MAYOR

CITY OF ATLANTA
DEPARTMENT OF WATERSHED MANAGEMENT
72 Marietta Street, NW
Atlanta, Georgia 30303

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Sincerely,

RahShad Coles

RahShad Coles
Engineering Aid Sr., Department of Watershed Management



STAFF RECOMMENDATIONS REPORT

July 31, 2024

Jannine Miller
Georgia Regional Transportation Authority
245 Peachtree Center Avenue, NE, Ste. 2200
Atlanta, Georgia 30303-1426

RE: Staff Report and Recommendations – Fairburn Technology Center (DRI # 4213)

GRTA staff has reviewed the Fairburn Technology Center (DRI # 4213) Review Package and provides this Staff Recommendations Report pursuant to Section 4.2 of the *GRTA DRI Review Procedures*.

PROJECT SUMMARY

Name and Number of DRI:	Fairburn Technology Center (DRI # 4213)
Permitting Local Government:	City of Fairburn
Local Development Approval Sought:	Rezoning
Location:	The proposed site is located south of Oakley Industrial Boulevard, west of Bohannon Road, north of Landrum Road.
Uses and Intensities of Use:	The project proposes 1,190,000 square feet total across three data center buildings.
Project Phasing & Build-Out Schedule:	2028
Net Trip Generation (AM / PM/ Daily):	149 / 125 / 1,178
Notice of Decision Due:	August 9, 2024
STAFF RECOMMENDATION:	Approval with Conditions

RECOMMENDATIONS

GRTA staff recommends that Fairburn Technology Center (DRI # 4213) be **APPROVED with conditions** based on the information provided by the Applicant, GDOT, ARC and Local Government; based on and the information provided in the Methodology Meeting Packet and the Transportation Study; based on the DRI Plan of Development; and based on the Review Criteria established in Section 4.3 of the *GRTA DRI Review Procedures*. Specific recommendations are provided below pursuant to Section 4.2 of the *GRTA DRI Review Procedures*. The draft Conditions of Approval below are proposed for the GRTA Notice of Decision.

Proposed Improvements for GRTA Notice of Decision:

Draft Conditions of Approval attached to the DRI (*Section 1 of Attachment C in the Notice of Decision*)

Bicycle, Pedestrian & Transit Facilities

- Provide pedestrian connectivity between all buildings, uses, and existing and future pedestrian access points.

Development Intensity and Use

- The development land use shall not exceed 1,190,000 square feet of Data Center space.
- The development is expected to employ approximately 30 people per building (90 total employees) and shall maintain a use that will have limited other traffic beyond employees entering and exiting.
- Other than infrequent deliveries, heavy vehicles shall not be generated by the development.
- During construction, heavy vehicles such as construction equipment and materials are expected but shall coordinate with the City of Fairburn to determine a designated truck route to utilize Oakley Industrial Boulevard and shall not utilize Bohannon Road to the south of the site.

Bohannon Road at Site Driveway A (Intersection 5)

- Construct a driveway along Bohannon Road with one (1) lane entering the site and one (1) lane exiting the site.
- Provide a southbound right-turn deceleration lane along Bohannon Road entering the site.

Site Access

- The access point approximately 1,200 feet south of Meadow Glen Way is being proposed as an emergency only access and shall only be utilized as an emergency access point.
- The access point approximately 1,550 feet south of Meadow Glen Way is being proposed as a service drive to the electrical substation and shall only be utilized as a service drive access point.

General Site Coordination

- Work with the City of Fairburn to mitigate the impact of construction traffic and develop a plan to route construction traffic to utilize Oakley Industrial Boulevard (designated as a truck route) rather than to/from the south along Bohannon Road.

Draft Advisory Conditions of Approval (Section 2 of Attachment C in the Notice of Decision)

Bicycle, Pedestrian & Transit Facilities

- Provide 5' sidewalks along the frontage of the site along Bohannon Road to provide pedestrian connectivity for adjacent neighborhood.

Oakley Industrial Boulevard at Bohannon Road (Intersection 2)

- Construct an exclusive westbound right-turn lane so that the westbound approach of Oakley Industrial Boulevard consists of one (1) exclusive right-turn lane and one (1) shared left-turn/through lane.

Items for Further Discussion

- Note that the applicant has proposed constructing a southbound left-turn left-lane from Bohannon Road onto Meadow Glen Way, based on the conversations the applicant has had with the adjacent neighborhood. This intersection operates at an acceptable LOS in the build and the no-build conditions, and therefore this turn lane is an additional improvement unrelated to LOS operations.

At this time, the Executive Director's decision is scheduled for issuance by August 9, 2024. Please contact me if you have any questions.

GRTA Review by:
Brittany Williams
Program Manager

cc:

Zane Grennell, DCA
Donald Shockey, ARC
Megan Wilson, GDOT District 7
Landon Perry, GDOT District 7
Denise Brookins, City of Fairburn
Sylvia Abernathy, City of Fairburn

William Casaday, Applicant, Bohannon Road Venture
Josh Thornton, Applicant, Bohannon Road Venture
Harrison Forder, Kimley-Horn
John Walker, Kimley-Horn
Jessica Didler, Kimley-Horn
John Wise, Paulson Mitchell

PUBLIC PARTICIPATION PLAN REPORT

Applicant: Bohannon Road Venture, LLC Petition No. _____

Date: 11/15/2024

1. The following parties were notified of the requested rezoning/use permit:

See attached for all parties notified by mail of public participation meetings, that include addresses beyond the required radius. Additionally, Applicant made contact with representatives of the HOA boards for Meadow Glen and Cobblestone Glen.

2. The following meetings were held regarding this petition: (Include the date, time, and meeting location.)

November 14, 2024 - 6:30 PM - Holiday Inn Express Inn & Suites, Conference Room, 7905 Senioa Road, Fairburn, GA 30213

November 13, 2024 - 6:30 PM - Holiday Inn Express Inn & Suites, Conference Room, 7905 Senioa Road, Fairburn, GA 30213

October 17, 2024 - 6:30 PM - Holiday Inn Express Inn & Suites, Conference Room, 7905 Senioa Road, Fairburn, GA 30213

October 16, 2024 - 6:30 PM - Holiday Inn Express Inn & Suites, Conference Room, 7905 Senioa Road, Fairburn, GA 30213

June 20, 2024 - 7:00 PM - Zoom Meeting with Meadow Glenn HOA Board | February 1, 2024 - 7:00 PM - Zoom Meeting with Meadow Glenn HOA Board

3. The following issues and concerns were expressed:

The residential neighbors expressed concern over creating 18-wheeler truck traffic along Bohannon Road that would normally be associated with an industrial shipping and delivery use, as well as the lack of an ability to safely turn into the entrance to Meadow Glen when approaching from the North along Bohannon Road when trucks are passing by. Other concerns noted were simply the addition of traffic to Bohannon Road in general, regardless of the use creating them, noise from existing industrial uses in the vicinity, and ensuring that the proposed use on the property would not create generally negative impacts to the community. An additional issue was presented with respect to the planned location of the entrance to the project, as it was initially contemplated to align with the entrance to Meadow Glen subdivision.

4. The applicant's response to issues and concerns was as follows:

Applicant explained to the parties that the intended use of the property will generate significantly less traffic than almost any other developed use would generate, including a residential neighborhood, which the neighbors seemed to understand. Applicant has designed and agreed to install a turn lane into the Meadow Glen subdivision along Bohannon Road, as well as designed the site to contain a single access point along Bohannon Road, north of the entrance to Meadow Glen. Applicant explained that due to the nature of the use, any impacts on the surrounding neighborhoods are expected to be minimal, if any at all. Applicant explained that, in fact, the proposed use of the site will work to provide a transition between the residential uses along Bohannon Road from the more intense industrial uses surrounding the site.

5. Applicants are required to attach copies of sign-in sheets from meetings as well as meeting announcements, i.e., notices, flyers, letters, and any other documentation which supports the opportunity for public input.

Attach additional sheets as needed.



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

BOHANNON ROAD VENTURE, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

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Glen Clerk



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PAREDES LUSI G & CHICAS HECTOR M
1000 MEADOW GLEN CIR
FAIRBURN GA 30213

2

SPENCER KATHY
9442 DEER CROSSING DR
JONESBORO GA 30236-5197

3

MAYS CAANDIG
1001 MEADOWS GLEN CIR
FAIRBURN GA 30213

4

RAMDULAR NEIL & REBECCA
1004 MEADOW GLEN CIR
FAIRBURN GA 30213

5

SMITH CHATTAM III & FRIESON LEONA L
1005 MEADOW GLEN CIR
FAIRBURN GA 30213

6

SHARPE WILLIAM T
1008 MEADOW GLEN CIR
FAIRBURN GA 30213

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Parcel Airlift



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9200 E HAMPTON DR
CAPITAL HEIGHTS MD 20743



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COLON VIVIAN
1012 MEADOW GLEN CIR
FAIRBURN GA 30213



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TORRES LUZA
1016 MEADOW GLEN CIR
FAIRBURN GA 30213



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MARIETTA, GA
30062
NOV 01, 24
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\$1.95
\$2324P501250-24

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CARTER DELLA
1017 MEADOW GLEN CIR
FAIRBURN GA 30213

6

RAMCHARAN MICHAEL & ANNIE
1020 MEADOW GLEN CIR
FAIRBURN GA 30213



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CAMERON DELABIA L
1021 MEADOW GLEN CIR
FAIRBURN GA 30213

2

IH BORROWER L P
901 MAIN ST STE 4700
DALLAS TX 75202

3

BRIDGES CASSANDRA J
1025 MEADOW GLEN CIR
FAIRBURN GA 30213

4

GIBSON VICKIE
1028 MEADOW GLEN CIR
FAIRBURN GA 30213-4236

5

QUARLES JAMES H & JOYCE
1029 MEADOW GLEN CIR
FAIRBURN GA 30313

6

PORTER RASCHELLE
1032 MEADOW GLEN CIR
FAIRBURN GA 30213



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1

BUTLER TRENECIA S
1033 MEADOW GLEN CIR
FAIRBURN GA 30213

2

HOME SFR BORROWER II LLC
1110 STRAND ST STE 2A
CHRISTIANSTED 00820

3

HERNANDEZ SARA
1037 MEADOW GLEN CIR
FAIRBURN GA 30213

4

WARE CHRISTINE
1040 MEADOW GLEN CIR
FAIRBURN GA 30213

5

JOHNSON MAURICE
1041 MEADOW GLEN CIR
FAIRBURN GA 30213

6

MARTINEZ ABEL
1044 MEADOW GLEN CIR
FAIRBURN GA 30213



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2	LEWIS EDWARD L & CATHERINE 1048 MEADOW GLEN CIR FAIRBURN GA 30213					
3	ARMOUR WILLIE 1049 MEADOW GLEN CIR FAIRBURN GA 30213					
4	SWANN BERTHA M 1052 MEADOW GLEN CIR FAIRBURN GA 30213					
5	PORTER BERYL RODERICK 1053 MEADOW GLEN CIR FAIRBURN GA 30213					
6	STEPHENS CALVIN A 1056 MEADOW GLEN CIR FAIRBURN GA 30213					



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1	EDWARDS BATISA 1057 MEADOW GLEN CIR FAIRBURN GA 30213				
2	CHAPPELL PEARL & DORIS 1060 MEADOW GLEN CIR FAIRBURN GA 30213				
3	EVANS CASSANDRA 1064 MEADOW GLEN CIR FAIRBURN GA 30213				
4	IH4 PROPERTY GEORGIA LP 950 NORTHPOINT PKWY ALPHARETTA GA 30005				
5	ROE DOROTHY J & BEATTY CHERAMIE 5 RAINBOW LN AMITYVILLE NY 11701				
6	FAIRBURN PROPERTY OWNER 5001 PLAZA ON THE LAKE SUITE 200 AUSTIN TX 78746				



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2	SMITH TIJUANA TAVARES 1080 MEADOW GLEN CIR FAIRBURN GA 30213					
3	SPRINGER CORBIN & DENNIS 1084 MEADOW GLN FAIRBURN GA 30213					
4	ELDER LARRY & KIMBERLY 1088 MEADOW GLEN CIR FAIRBURN GA 30213					
5	TLG HOLDINGS LLC P O BOX 596 SHARPSBURG GA 30277					
6	LUXOR SFR SPV 1 LLC 1114 AVENUE OF THE AMERICAS FLOOR 28TH NEW YORK NY 10036					



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1	BHOWMICK VIKASH 2004 MEADOW GLEN CIR FAIRBURN GA 30213		
2	WILLIAMS MAI LAN 2008 MEADOW GLEN CIR FAIRBURN GA 30213		
3	V E PROPERTIES LLC 378 EBENEZER CHURCH RD FAYETTEVILLE GA 30215-5208		
4	PACE CHRISTOPHER 2016 MEADOW GLEN CIR FAIRBURN GA 30213-3136		
5	PLEHN NHORA M 145 EDMONDSON WAY FAYETTEVILLE GA 30214		
6	TAH 2017 2 BORROWER LLC 1508 BROOKHOLLOW DR SANTA ANA CA 92705		



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1	DENHAM SHANNON A 2032 MEADOW GLEN CIR FAIRBURN GA 30213					
2	VELEZ GLORIA A 2036 MEADOW GLEN CIR FAIRBURN GA 30213					
3	SMITH PHYLLIS M 2040 MEADOW GLEN CIR FAIRBURN GA 30213					
4	COLFIN AI GA 1 LLC 8665 E HARTFORD DR STE 200 SCOTTSDALE AZ 85255					
5	BARNETT CHANTELL M 3008 MEADOW GLEN CIR FAIRBURN GA 30213					
6	TREJO JOSE R 3009 MEADOW GLEN PASS FAIRBURN GA 30213					



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1	WILLIAMS TERETTA 3012 MEADOW GLEN PASS FAIRBURN GA 30213		
2	ELLIS JACQUELINE 3013 MEADOW GLEN PASS FAIRBURN GA 30213		
3	ASHMON BAXTER 3016 MEADOW GLEN DR FAIRBURN GA 30213		
4	HAWKINS AUGUSTUS SR & BRENDA 3017 MEADOW GLEN PASS FAIRBURN GA 30213		
5	YENGLE MARIA I 3021 MEADOW GLENN PASS FAIRBURN GA 30213		
6	CHAMPION BERNARD 3024 MEADOW GLEN PASS FAIRBURN GA 30213		



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1	RAMIREZ ALEX & RADOLFO A 3025 MEADOW GLEN PASS FAIRBURN GA 30213					
2	GARCIA SERGIO & CARMEN HERMOSILLO 3028 MEADOW GLEN PASS FAIRBURN GA 30213					
3	BANKS MONIQUE & DASHAWN 3029 MEADOW GLEN PASS FAIRBURN GA 30213					
4	SUTPHIN ANTHONY 796 SACCO PL BELLMORE NY 11710					
5	WARE CHRISTINE & JONAS 4009 MEADOW GLEN WAY FAIRBURN GA 30213					
6	TIGGS FELECIA 4013 MEADOW GLEN WAY FAIRBURN GA 30213					



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326					PETTY BELINDA DENISE & BRENTYN 4017 MEADOW GLEN WAY FAIRBURN GA 30213				
					MITCHELL LEQUISHA C 4021 MEADOW GLEN WAY FAIRBURN GA 30213				
					CRAWL MARGARET 4029 MEADOW GLEN WAY FAIRBURN GA 30213-4283				
					SUMMEROUR JOHN H JR 4033 MEADOW GLEN WAY FAIRBURN GA 30213				
					BROWN CYNTHIA M 4037 MEADOW GLEN WAY FAIRBURN GA 30213				
					GEORGE ANTHONY E 4041 MEADOW GLEN WAY FAIRBURN GA 30213				



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1		BERRY MELROSE 4084 OLDE GLEN COVE FAIRBURN GA 30213		
2		REGISTER IRIS 4088 OLDE GLEN COVE FAIRBURN GA 30213		
3		PODSEN JOSEPH M 4092 OLDE GLEN COVE FAIRBURN GA 30213		
4		FUENTES DOMINIQUE & NONEZE WANDA 4096 OLD GLEN COVE FAIRBURN GA 30213		
5		GUNTER TORRI 5065 MEADOW TRC FAIRBURN GA 30213		
6		PINNOCK CHARMINE 5069 MEADOW TRCE FAIRBURN GA 30213-4282		



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326								
USPS® Tracking Number Firm-specific Identifier								
1				BOWDEN JEFF ELERY 5073 MEADOW TRCE FAIRBURN GA 30213				
2				HERNANDEZ AIMEEL 5077 MEADOW TRC FAIRBURN GA 30213				
3				SAFARI TWO ASSET COMPANY LLC & SRMZ 3 LLC 5001 PLAZA ON THE LK STE 200 AUSTIN TX 78746				
4				PROGRESS ATLANTA LLC PO BOX 4090 SCOTTSDALE AZ 85261				
5				GRAVES THANH 5093 PRESERVE PASS FAIRBURN GA 30213				
6				IH6 PROPERTY GEORGIA LP 1717 MAIN ST SUITE 2000 DALLAS TX 75201				



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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift	
BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster, per (name of receiving employee)					
1	FAIRBURN PROPERTY OWNER 455 GLEN IRIS DR NE UNIT U ATLANTA GA 30308					
2	TOOMBES HELEN 6004 PRESERVE PASS FAIRBURN GA 30213					
3	FOSTER BEVERLY 6005 PRESERVE PASS FAIRBURN GA 30213					
4	ALEXANDER DAVEENA 6008 PRESERVE PASS FAIRBURN GA 30213					
5	JENKINS THERESA DIANE 6009 PRESERVE PASS FAIRBURN GA 30213					
6	ROWLAND FAMILY TRUST 6012 PRESERVE PASS FAIRBURN GA 30213					



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326				LOUIS MIRALDA 234 GA HIGHWAY 212 EATONTON GA 31024-6751				
USPS® Tracking Number Firm-specific Identifier	1			METHELUS TAMARRAH 6016 PRESERVE PASS FAIRBURN GA 30213				
2				WATERHOUSE JENNINGS LLC 100 GLENDA LOUGH CT D-2 TYRONE GA 30290				
3				BROWN VIVIAN D 6020 PRESERVE PASS FAIRBURN GA 30213				
4				FOUSE NONA KERRY N 6021 PRESERVE PASS FAIRBURN GA 30213				
5				SEARCY AVIS C 6025 PRESERVE PASS FAIRBURN GA 30213				
6								

Affix Stamp Here
Postmark with Date of Receipt.



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		Special Handling	Parcel Airlift
BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster, per (frame of receiving employee)		
1	FAIRBURN PROPERTY OWNER P O BOX 4090 SCOTTSDALE AZ 85261		
2	CLEMENTS CHERYL P O BOX 333 RED OAK GA 30272		
3	ELLIS KIPPIE 6032 PRESERVE PASS FAIRBURN GA 30213		
4	COLEMAN JANICE M 6033 PRESERVE PASS FAIRBURN GA 30213		
5	RESICAP GEORGIA OWNER LLC 3953 MAPLE AVE SUITE 300 DALLAS TX 75219		
6	MOODY GWENDOLYN A 6044 PRESERVE PASS FAIRBURN GA 30213		



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster, per (name of receiving employee)					
1	HENDERSON DAMIEN 6045 PRESERVE PASS FAIRBURN GA 30213					
2	ASLAM MUHAMMAD 3046 EXCELSIOR CT SNELLVILLE GA 30039					
3	ECHOLS ELIZABETH A 6052 PRESERVE PASS FAIRBURN GA 30213					
4	EDWARDS DELLA C 6053 PRESERVE PASS FAIRBURN GA 30213					
5	HOW STEPHANIE & LEON 7000 GLEN VALLEY WAY FAIRBURN GA 30213					
6	HANCE PHYLLIS J 7001 GLEN VALLEY WAY FAIRBURN GA 30213					



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster: per (name of receiving employee)					
1	RABBAB MARYAM 7005 GLEN VALLEY WAY FAIRBURN GA 30213					
2	VAN HEERDT MICHELE 7008 GLEN VALLEY WAY FAIRBURN GA 30213					
3	HAYNIE JOE 605 AUGUSTA DR FAIRBURN GA 30213					
4	TURNER TWANNA 1201 HADLEY DR FAIRBURN GA 30213					
5	UNDERWOOD PHYLLIS H 425 BARRINGTON GRANGE DR SHARPSBURG GA 30277					
6	BANTON CORDELLA 1005 WINDING BROOK WAY FAIRBURN GA 30213					



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Name and Address of Sender

BOHANNON ROAD VENTURE, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

TOTAL NO.
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Firm-specific Identifier

Address
(Name, Street, City, State, and ZIP Code™)

Parcel Airlift

Special Handling

Fee

Postage

1

ZHENG FANG
3274 3274 LONG CREEK DR TRL
BUFORD GA 30519

2

RANA MUHAMMAD NASIR IQBAL
7020 GLEN VALLEY WAY
FAIRBURN GA 30213

3

RS RENTAL I LLC
31 HUDSON YARDS
NEW YORK NY 10001

4

PARKER KHALIA S
3724 HARBOR LAKES PKWY
FAIRBURN GA 30213

5

STRONG RODNEY
319 SANDALIN LANE
PEACHTREE CITY GA 30269

6

GREEN HENRY JR
7029 PRESSERVE PKWY
FAIRBURN GA 30213



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster, per (name of receiving employee)		
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee
1	HORTON DARNELL & YUMA C 7030 PRESERVE PKWY FAIRBURN GA 30213		
2	TURNER CHIQUITA 7033 PRESERVE PKWY FAIRBURN GA 30213		
3	EATON SABRINA 7034 PRESERVE PKY FAIRBURN GA 30213		
4	BANO MUNAZZA 7037 PRESERVE PKWY FAIRBURN GA 30213		
5	BILLINGSLEA SHEILA M 7038 PRESERVE PKWY FAIRBURN GA 30213		
6	ANJUM SYED Z 7041 PRESERVE PKWY FAIRBURN GA 30213		



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Name and Address of Sender

BOHANNON ROAD VENTURE, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

TOTAL NO.
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Address
(Name, Street, City, State, and ZIP Code™)

Postage

Fee

Special Handling

Parcel Airlift

1

CANDIOTTI TEODOCIO
7042 PRESERVE PKWY
FAIRBURN GA 30213

2

AYALA FRANCISCO JAVIER JIMENEZ
7045 PRESERVE PKWY
FAIRBURN GA 30213

3

SANDS CASSANDRA Y
7049 PRESERVE PKWY
FAIRBURN GA 30213

4

BOTERO JAIME L & ECHEVERRY MARIA
7053 PRESERVE PKWY
FAIRBURN GA 30213

5

FULLER BEONTAE A & FULLER KAYLA M
7054 PRESERVE PKWY
FAIRBURN GA 30213

6

HAYES CHARLSYE D
7058 PRESERVE PKWY
FAIRBURN GA 30213-4287



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<p>BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326</p>	<p>Postmaster, per (name of receiving employee)</p>					
1	<p>KINDLE DALEY 7062 PRESERVE PKWY FAIRBURN GA 30213</p>					
2	<p>FINAS HOME & LIR LLC 77 FOX RIDGE DR NEWNAN GA 30265</p>					
3	<p>THOMAS MANDISHA ANN 7080 PRESERVE PKWY FAIRBURN GA 30213</p>					
4	<p>SMITH VICTORIA 8000 HIGHLAND PKWY FAIRBURN GA 30213</p>					
5	<p>GLOBAL EQUITY SOLUTIONS INC 5470 MCGINNIS VILLAGE PL SUITE 104 ALPHARETTA GA 30005</p>					
6	<p>GIBSON KAMRYN & GIBSON TOMMY F 8008 HIGHLAND PKWY UNIT 24 FAIRBURN GA 30213</p>					



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Name and Address of Sender

BOHANNON ROAD VENTURE, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

TOTAL NO.
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Firm-specific Identifier

Address
(Name, Street, City, State, and Zip Code™)

Parcel Airlift

Special Handling

Fee

Postage

1

KNOX DEXTER P
8016 HIGHLAND PKWY
FAIRBURN GA 30213

2

LOMAX JERRY D & SHERYL H
8020 HIGHLAND PKWY
FAIRBURN GA 30213

3

CULLINANE KELLY J
8024 HIGHLAND PKWY
FAIRBURN GA 30213

4

AMERICAN RESIDENTIAL LEASING COMPANY
2015 SPEAR ST STE 1850
SAN FRANCISCO CA 94105

5

HAUPT RICHARD W & TAE YOUNG S
55 BRINLEY DR
SHARPSBURG GA 30277

6

STOVALL FRANKLIN II
8036 HIGHLAND PKWY
FAIRBURN GA 30213



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BOHANNON ROAD VENTURE, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

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Address
(Name, Street, City, State, and ZIP Code™)

Postage

Fee

Special Handling

Parcel Airlift

1

DISTEPANO ANTHONY
8044 HIGHLAND PKWY
FAIRBURN GA 30213

2

DESPREZ ROBERT J ET AL
310 GAELIC WAY
TYRONE GA 30290

3

CBPIC GA OWNER 1 LLC
251 LITTLE FALLS DR
WILMINGTON DE 19808

4

HERNANDEZ JUAN & PEREZ LORENA
8056 HIGHLAND TRL
FAIRBURN GA 30213

5

BROWN MARCI
8060 HIGHLAND TRCE
FAIRBURN GA 30213-4291

6

PERRY KEISA & HARMON CLINTON M
8064 HIGHLAND TRCE
FAIRBURN GA 30213-4291



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster, per (name of receiving employee)				
1	KING DWAYNE H 8068 HIGHLAND TRCE FAIRBURN GA 30213-4291				
2	BLACKWELL WILLIAM Q & CHRISTIE D 8072 HIGHLAND TRCE FAIRBURN GA 30213-4291				
3	FARLEY TAMMY L 8076 HIGHLAND TRCE FAIRBURN GA 30213-4291				
4	HPA CL1 LLC 8080 HIGHLAND TRC FAIRBURN GA 30213				
5	APPLEBY RHONDA 8084 HIGHLAND TRCE FAIRBURN GA 30213-4291				
6	HARRIS JOAN 8088 HIGHLAND TRCE FAIRBURN GA 30213-4291				



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster, per (name of receiving employee)		
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee
1	ALLEN MICHELE A 8092 HIGHLAND TRCE FAIRBURN GA 30213		
2	LYNAH KINSHASA 8096 HIGHLAND TRCE FAIRBURN GA 30213		
3	PATRICIAN CF LLC 8027 JEFFERSON HWY BATON ROUGE LA 70809		
4	ALEXIS MATHIEU 1233 OCEAN AVE APT 4 F BROOKLYN NY 11230		
5	FOSTER PARRY LEE JOHNSON 9001 HIGHLAND PASS FAIRBURN GA 30213		
6	MARTIN AMANDA ERITTA 9002 HIGHLAND PASS FAIRBURN GA 30213		



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster, per (name of receiving employee)		
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee
1	TITSWORTH MESHELLE 9005 HIGHLAND PASS FAIRBURN GA 30213		
2	HAMBRICK KELLIE 9009 HIGHLAND PASS FAIRBURN GA 30213		
3	DAVIS EDDIE D & CORETTA E 103 BRUNSWICK TYRONE GA 30290		
4	ZERPESED ENTERPRISES LLC 115 HEALEY PASS TYRONE GA 30290		
5	FAIRBURN PROPERTY OWNER 4441 MARSH RD MARIETTA GA 30066		
6	HARRIS JAMES A 1090 N COURT DR DULUTH GA 30096		



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Postmaster per (name of receiving employee)	Special Handling	Parcel Airlift	
BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	MC ARTHUR JOSHUA D 9018 HIGHLAND PASS FAIRBURN GA 30213		
1	BOLLING DOROTHY & JOHNSON BEVERLY 1 SECOND ST WESTBURY NY 11590		
2	GARCIA MARIANO GARCIA 726 S FAIRFIELD DR PEACHTREE CITY GA 30269		
3	FAIRBURN PROPERTY OWNER 8300 N MOPAC EXPRESSWAY STE 200 AUSTIN TX 78759		
4	SIMS AXUELE 9026 HIGHLAND PASS FAIRBURN GA 30213		
5	KHAN IFTIKHAR 9029 HIGHLAND PKWY FAIRBURN GA 30213		
6			



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USPS Tracking Number <small>Firm-specific identifier</small>	Address <small>(Name, Street, City, State, and Zip Code™)</small>	Postage	Fee
	Special Handling	Parcel Airlift	
1	BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	MITCHELL TERRY & PETTIGREW MYKETTA 9031 HIGHLAND PKWY FAIRBURN GA 30213	
2		GRICE LASHAWN D 9035 HIGHLAND PKWY FAIRBURN GA 30213	
3		EDWARDS GLORIA D 9039 HIGHLAND PKWY FAIRBURN GA 30213	
4		MARR NANETTE MARIE 9043 HIGHLAND PKWY FAIRBURN GA 30213	
5		BAZEN KELLY 9047 HIGHLAND PKWY FAIRBURN GA 30213	
6		VARNER JOHN H JR & WILLA R 9051 HIGHLAND PKWY FAIRBURN GA 30213-4295	

See Reverse for Instructions



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	TOTAL NO. of Pieces Received at Post Office™ Postmaster: per (name of receiving employee)						
USPS® Tracking Number Firm-specific Identifier							
1	Address (Name, Street, City, State, and ZIP Code™)	TAYLOR DAYONNA 3600 POINTE CT FAIRBURN GA 30213					
2		CALCANO JOSEN & CONTRESAS NILDA E 155 CUTSTONE CT FAYETTEVILLE GA 30215-6206					
3		2014 3 IH BORROWER L P 901 MAIN ST STE 4700 DALLAS TX 75202					
4		CORBIN BRUCE & CORBIN CAROLYN 3605 POINTE CT FAIRBURN GA 30213					
5		GENTRY ROYAL SHAKORA 3608 POINTE CT FAIRBURN GA 30213					
6		COMADORE TERRELYNN 3609 POINT CT FAIRBURN GA 30213					



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326				DEJESUS JEANETTE & PESANTE IRIS IVETTE 90 PALLADIAN DR SENOIA GA 30276				
USPS® Tracking Number Firm-specific Identifier	1			LOWE TIMEKIA Y 3617 POINTE CT FAIRBURN GA 30213				
2				PROGRESS ATLANTA LLC P O BOX 4090 SCOTTSDALE AZ 85261				
3				2018 3 IH BORROWER LP & 2018 4 IH BORROWER LP 1717 MAIN ST STE 2000 DALLAS TX 75201				
4				ZERPSED ENTERPRISES LLC 115 HEALEY PASS TYRONE GA 30290				
5				YAMASA CO LTD P O BOX 4090 SCOTTSDALE AZ 85261				

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Postmark with Date of Receipt.



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Special Handling	Parcel Airlift		
BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster, per: (name of receiving employee)		
1	CORBETT TIFFANY 3705 POINT CIR FAIRBURN GA 30213		
2	EDMONDS SHIRLEY A 3708 POINT CIR FAIRBURN GA 30213		
3	STEPHENS BRENDA LASHON 3709 POINTE CIR FAIRBURN GA 30213		
4	RIVAS CARMEN J 3712 POINT CIR FAIRBURN GA 30213		
5	MIXON JAKIYA 3713 POINTE CIR DAY FL 32013		
6	UGBOME ARMESHA E MENAE & UGBOME BLESSING OGHENETEGA 3716 POINTE CIR FAIRBURN GA 30213		



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster: per frame of receiving employees		
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee
1	BLACKWELL SABRINA K 3717 POINT CT FAIRBURN GA 30213		
2	COURTOIS INVESTMENTS LLC P O BOX 142375 FAYETTEVILLE GA 30214		
3	JOHNSON JOHN JR 3721 POINTE CIR FAIRBURN GA 30213		
4	MC KIBBEN BRENT 3724 POINT CIR FAIRBURN GA 30213		
5	VELASQUEZ FANNY & ERAZO KARLA 3725 POINT CIR FAIRBURN GA 30213		
6	TARAVELLA JACK SR 159 -03 79TH ST HOWARD BEACH NY 11414		



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	(Postmaster, put name of receiving employee)		
USPS® Tracking Number Firm-specific Identifier			
1	PERSON BUKOLA 3733 POINTE CIR FAIRBURN GA 30213		
2	PAGAYA SMARTRESI F1 FUND PROPERTY OWNER II LLC 3852 MEADOW GLEN WAY FAIRBURN GA 30040		
3	MC CRORY JENELL 3856 MEADOW GLEN WAY FAIRBURN GA 30213		
4	GELIN MONINE 506 GREEN GROVE AVE UNIONDALE NY 11553		
5	GREEN SLONE 3864 MEADOW GLEN WAY FAIRBURN GA 30213		
6	BROOKS LINDA 2126 CASTLEWYCKE CT MARIETTA GA 30068		



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USPS® Tracking Number Firm-specific identifier									
BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326									
1									
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5									
6									



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster: per (name of receiving employee)		
1	DOYLERBOX PROPERTIES LLC 13259 WOOLSEY RD HAMPTON GA 30228		
2	UPPAL GULSHAN & KATARIA NATASHA 2701 W SUMMIT DR JOPLIN MO 64804		
3	SAMUELS ELLEN W 3993 MEADOW GLEN WAY FAIRBURN GA 30213		
4	CHIHARA TAKAHIRO 3 41 5 601 OTSUKA BUNKYO KU JPN TOKYO 1120012		
5	FALCAO DAVID & DSOUZA JESSICA T 5482 WAVERLY DR ATLANTA GA 30349		
6	GRETSKY GA LLC & TOLSTOY GA LLC 853 BROADWAY FLOOR 5 NEW YORK NY 10003		



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326							
1			CHANCELLOR ANDRE & SELEGENE A 4001 MEADOW GLEN WAY FAIRBURN GA 30213				
2			PEACHTREE LEARNING LLC 804 SMOKEY WAY PEACHTREE CITY GA 30269				
3			JACKSON LACEY 4008 MEADOW GLEN WAY FAIRBURN GA 30213				
4			BAF ASSETS LLC 5001 PLAZA ON THE LK STE 200 AUSTIN TX 78746				
5			WILEY ADRIENNE A 4016 MEADOW GLEN WAY FAIRBURN GA 30213				
6			MONTGOMERY STREET HOMES LLC 300 MONTGOMERY ST SUITE 1200 SAN FRANCISCO CA 94104				



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster per (name of receiving employee)		
1	SMALLS MARGIE L 4024 MEADOW GLEN WAY FAIRBURN GA 30213		
2	MIDDLEBROOKS KEVIN P 4032 MEADOW GLEN WAY FAIRBURN GA 30213		
3	GUTHRIE ARICK & TASHIA 4036 OLDE GLEN CV FAIRBURN GA 30213		
4	THOMAS RONALD J 4040 MEADOW GLEN WAY FAIRBURN GA 30213		
5	GRESHAM JAMES E & BONITA G 4044 OLDE GLEN COVE FAIRBURN GA 30213		
6	HANKS TYANA 4048 OLDE GLEN CV FAIRBURN GA 30213		



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of Receipt.
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee
BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster, per (name of receiving employee)		
1	CARTER UWONDA S 4052 OLDE GLEN COVE FAIRBURN GA 30213		
2	SATKAS WANDA B 5280 HOPE PL MATTESON IL 60443		
3	FRACTIONAL PEACHFLOWER LLC 195 RECINO ST FREMONT CA 94539		
4	ABERE BAPAKAYE 4068 OLDE GLEN CV FAIRBURN GA 30213		
5	IH4 PROPERTY GEORGIA L P 950 N POINT PKWY STE 350 ALPHARETTA GA 30005		
6	PROGRESS RESIDENTIAL BORROWER 8 LLC P O BOX 4090 SCOTTSDALE AZ 85261		



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326						
<small>Postmaster: per name of receiving employee(s)</small>						
USPS® Tracking Number <small>(Firm-specific identifier)</small>	Address <small>(Name, Street, City, State, and Zip Code(s))</small>					
1	WARE JONAS S & JACQUELINES 4080 OLDE GLEN COVE FAIRBURN GA 30213					
2	BERRY MELROSE 4084 OLDE GLEN COVE FAIRBURN GA 30213					
3	BRANDON VIVIAN E 5001 MEADOW TRCE FAIRBURN GA 30213-4282					
4	RADWAN SHARION D FIDDEMON 5005 MEADOW TRC FAIRBURN GA 30213					
5	MAB LIVING LLC 69 BARBARA LANE LEVITOWN NY 11756					
6	WARE KEE AI 5013 MEADOW TRCE FAIRBURN GA 30213-4282					

Affix Stamp Here
Postmark with Date of Receipt.



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326		HARPS QUINTESSA 5017 MEADOW TRCE FAIRBURN GA 30213-4282				
1		TAH 2017 2 BORROWER LLC 1508 BROOKHOLLOW DR SANTA ANA CA 92705				
2		OLYMPUS BORROWER 1 LLC PO BOX 4090 SCOTTSDALE AZ 85261				
3		GONZALEZ ANA M 5029 MEADOW TRCE FAIRBURN GA 30213-4282				
4		DUAL EQUITY ENTERPRISE LLC P O BOX 34 TYRONE GA 30290				
5		GREEN DANA 5037 MEADOW TRCE FAIRBURN GA 30213-4282				
6						



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		Special Handling	Parcel Airlift
BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster, per (name of receiving employee)		
1	CARTER BARBARA & TERRY L 5041 MEADOW TRCE FAIRBURN GA 30213-4282		
2	ERSKINE ZEPHANIAH & ERSKINE LILLIAN 1257 NOBLE AVE BRONX NY 10472		
3	COOPER MARYANN 5049 MEADOW TRC FAIRBURN GA 30213		
4	WILSON GLEN & MERLENE 5053 MEADOW TRCE FAIRBURN GA 30213-4282		
5	WHITE YOLANDA MIGNON 5057 MEADOW TRC FAIRBURN GA 30213		
6	CK GROUP LLC P O BOX 1757 ROSWELL GA 30077		

Instructions for Certificate of Mailing — Firm Service

This service provides evidence that the mailer has presented items for mailing to the Postal Service™. The following instructions are for the preparation and use of PS Form 3665, *Certificate of Mailing – Firm (Domestic)* (including facsimiles), for individual First-Class Mail®, First-Class Package Service®, Priority Mail®, Media Mail®, Library Mail, Bound Printed Matter, Parcel Return Service, and USPS Retail Ground™ items.

1. Complete and print all forms in ink or ball point pen.
2. Enter the name and address of the sender at the top of the form.
3. Enter a complete return address on each article.
4. Ensure the articles are properly packaged.
5. In the appropriate column, enter the applicable postage and fees.
6. Insert a firm-specific identifier or account number if desired. (This number is for the sender's use only, and the Postal Service will not use it for identification.)
7. When describing and listing three or more individual pieces but not presenting the pieces in the order shown on the sheet, consecutively number each entry line on the sheet and number each piece to show both the corresponding sheet and line number.
8. Enter the total number of articles in the proper space at the top of the form.
9. Obliterate all unused portions of the "Address" column by drawing a diagonal line through the unused portion on the form.
10. When the number of articles presented exceeds the allotted space on the form, use multiple sheets, and in the provided blank spaces in the lower left of the form, number them consecutively to show sheet number and total number of sheets (such as "Page 1 of 4," "Page 2 of 4," etc.).
11. Present PS Form 3665 and the mailing as follows:
 - When the mailing has fewer than 50 mailpieces and less than 50 pounds, present the form and mailing at a retail Post Office™ location.
 - When the mailing has at least 50 mailpieces or at least 50 pounds, present the form and mailing at a business mail entry unit (BMEU) or USPS-authorized detached mail unit (DMU).




















Privately Printed Forms: The Postal Service allows mailers to use USPS-approved privately printed or computer-generated firm sheets that are nearly identical in design elements and color to the USPS-provided PS Form 3665. See DMM 503 for details on the approval process.

The mailer must retain the original written approval granted by the Postal Service as evidence that the privately printed facsimile of PS Form 3665 has been approved by the Postal Service. The Postal Service does not retain records on the facsimile approvals. A mailer using privately prepared forms must periodically verify them against the USPS-provided version and, if necessary, make routine updates and obtain approval of the updated facsimile form.

A mailer using an approved privately printed form and wanting the form sheets postmarked by the Postal Service must present the forms with the articles to be mailed at a Post Office facility. The forms become the mailer's only receipt (the Postal service does not retain a copy).



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of Receipt.																																										
BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	127	127																																											
Postmaster: per (name of receiving employee) <i>D. Clark, clerk</i>	<table border="1"> <thead> <tr> <th data-bbox="617 798 673 871">USPS® Tracking Number Firm-specific identifier</th> <th data-bbox="617 871 673 1050">Address (Name, Street, City, State, and ZIP Code™)</th> <th data-bbox="617 1050 673 1155">Postage</th> <th data-bbox="617 1155 673 1260">Fee</th> <th data-bbox="617 1260 673 1365">Special Handling</th> <th data-bbox="617 1365 673 1969">Parcel Airlift</th> </tr> </thead> <tbody> <tr> <td data-bbox="673 798 730 871">1</td> <td data-bbox="673 871 730 1050">TOLSTOY GA LLC 853 BROADWAY FLOOR 5TH NEW YORK NY 10033</td> <td data-bbox="673 1050 730 1155"> 0000</td> <td data-bbox="673 1155 730 1260">U.S. POSTAGE PAID MARIETTA, GA 30062 NOV 01, 24 AMOUNT \$31.85 S2324P501250-24</td> <td data-bbox="673 1260 730 1365"></td> <td data-bbox="673 1365 730 1969"></td> </tr> <tr> <td data-bbox="730 798 787 871">2</td> <td data-bbox="730 871 787 1050">ASSOCIATED PARTNERS LLC 3418 DEER LANE DR TALLAHASSEE FL 32312</td> <td data-bbox="730 1050 787 1155"> 0000</td> <td data-bbox="730 1155 787 1260">U.S. POSTAGE PAID MARIETTA, GA 30062 NOV 01, 24 AMOUNT \$31.85 S2324P501250-24</td> <td data-bbox="730 1260 787 1365"></td> <td data-bbox="730 1365 787 1969"></td> </tr> <tr> <td data-bbox="787 798 844 871">3</td> <td data-bbox="787 871 844 1050">ROUNDTREE ALCANA A 125 BELMONT TER FAIRBURN GA 30213</td> <td data-bbox="787 1050 844 1155"> 0000</td> <td data-bbox="787 1155 844 1260">U.S. POSTAGE PAID MARIETTA, GA 30062 NOV 01, 24 AMOUNT \$18.85 S2324P501250-24</td> <td data-bbox="787 1260 844 1365"></td> <td data-bbox="787 1365 844 1969"></td> </tr> <tr> <td data-bbox="844 798 901 871">4</td> <td data-bbox="844 871 901 1050">GRACE RAYMOND L 135 BELMONT TER FAIRBURN GA 30213</td> <td data-bbox="844 1050 901 1155"> 0000</td> <td data-bbox="844 1155 901 1260"></td> <td data-bbox="844 1260 901 1365"></td> <td data-bbox="844 1365 901 1969"></td> </tr> <tr> <td data-bbox="901 798 958 871">5</td> <td data-bbox="901 871 958 1050">FELDER JEREMY 105 BELMONT TER FAIRBURN GA 30213</td> <td data-bbox="901 1050 958 1155"> 0000</td> <td data-bbox="901 1155 958 1260"></td> <td data-bbox="901 1260 958 1365"></td> <td data-bbox="901 1365 958 1969"></td> </tr> <tr> <td data-bbox="958 798 1015 871">6</td> <td data-bbox="958 871 1015 1050">BOYD MIA 5872 BLUEGRASS VW FAIRBURN GA 30213</td> <td data-bbox="958 1050 1015 1155"> 0000</td> <td data-bbox="958 1155 1015 1260"></td> <td data-bbox="958 1260 1015 1365"></td> <td data-bbox="958 1365 1015 1969"></td> </tr> </tbody> </table>			USPS® Tracking Number Firm-specific identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift	1	TOLSTOY GA LLC 853 BROADWAY FLOOR 5TH NEW YORK NY 10033	 0000	U.S. POSTAGE PAID MARIETTA, GA 30062 NOV 01, 24 AMOUNT \$31.85 S2324P501250-24			2	ASSOCIATED PARTNERS LLC 3418 DEER LANE DR TALLAHASSEE FL 32312	 0000	U.S. POSTAGE PAID MARIETTA, GA 30062 NOV 01, 24 AMOUNT \$31.85 S2324P501250-24			3	ROUNDTREE ALCANA A 125 BELMONT TER FAIRBURN GA 30213	 0000	U.S. POSTAGE PAID MARIETTA, GA 30062 NOV 01, 24 AMOUNT \$18.85 S2324P501250-24			4	GRACE RAYMOND L 135 BELMONT TER FAIRBURN GA 30213	 0000				5	FELDER JEREMY 105 BELMONT TER FAIRBURN GA 30213	 0000				6	BOYD MIA 5872 BLUEGRASS VW FAIRBURN GA 30213	 0000			
USPS® Tracking Number Firm-specific identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift																																								
1	TOLSTOY GA LLC 853 BROADWAY FLOOR 5TH NEW YORK NY 10033	 0000	U.S. POSTAGE PAID MARIETTA, GA 30062 NOV 01, 24 AMOUNT \$31.85 S2324P501250-24																																										
2	ASSOCIATED PARTNERS LLC 3418 DEER LANE DR TALLAHASSEE FL 32312	 0000	U.S. POSTAGE PAID MARIETTA, GA 30062 NOV 01, 24 AMOUNT \$31.85 S2324P501250-24																																										
3	ROUNDTREE ALCANA A 125 BELMONT TER FAIRBURN GA 30213	 0000	U.S. POSTAGE PAID MARIETTA, GA 30062 NOV 01, 24 AMOUNT \$18.85 S2324P501250-24																																										
4	GRACE RAYMOND L 135 BELMONT TER FAIRBURN GA 30213	 0000																																											
5	FELDER JEREMY 105 BELMONT TER FAIRBURN GA 30213	 0000																																											
6	BOYD MIA 5872 BLUEGRASS VW FAIRBURN GA 30213	 0000																																											



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326							
1		STROZIER ANTHONY W 5873 BLUEGRASS VIEW FAIRBURN GA 30213					
2		MILLS MELISSA L 5877 BLUEGRASS VIEW FAIRBURN GA 30213					
3		SFR JV 2 PROPERTY LLC PO BOX 15087 SANTA ANA CA 92735					
4		LOCKETT SHERRY L & WHITTIE 5884 BLUEGRASS VIEW FAIRBURN GA 30213					
5		OPENDOOR PROPERTY TRUST I 5885 BLUEGRASS VW FAIRBURN GA 30213					
6		MC CARTHNEY MACK & MARGARET 5889 BLUEGRASS VIEW FAIRBURN GA 30213					



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326									
1	HODGES JANELA 5892 BLUEGRASS VIEW FAIRBURN GA 30213								
2	JONES ANTHONY & JONES RHONDA ALICIA 5893 BLUEGRASS VIEW FAIRBURN GA 30213								
3	BROWN KEISHA T 5896 BLUEGRASS VIEW FAIRBURN GA 30213								
4	WASHINGTON BLAIR 5897 BLUEGRASS VIEW FAIRBURN GA 30213								
5	HOUSTON SHAQUONZA & HOUSTON W. ANTHONY 5900 BLUEGRASS VW FAIRBURN GA 30213								
6	SWINGER CHERYL B 5905 BLUEGRASS VIEW FAIRBURN GA 30213								



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326				
USPS® Tracking Number Firm-specific Identifier:				
1	FRANCOIS MICHELLE 5909 BLUEGRASS VW FAIRBURN GA 30213			
2	CALDERON M. A. NOLASCO & NOLASCO A LINARES 5912 BLUEGRASS VW FAIRBURN GA 30213			
3	GEMES KATRINA A 5913 BLUEGRASS VW FAIRBURN GA 30213			
4	MC CAIN ARLICIA N 5917 BLUEGRASS VIEW FAIRBURN GA 30213			
5	ROTHERHAM TODD M & KIM Y 4764 SUNSHINE AVE SANTA ROSA CA 95409			
6	JORDAN SHIRL 5933 BLUEGRASS VIEW FAIRBURN GA 30213			
		Postage	Fee	Special Handling
				Parcel Airlift



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster: per (name of receiving employee)		
USPS® Tracking Number Firm-specific Identifier		Address <small>(Name, Street, City, State, and ZIP Code.™)</small>	Postage
1		WYNN LISA M 5937 BLUEGRASS VIEW FAIRBURN GA 30213	Fee
2		HAUGHTON RACQUEL R 5941 BLUEGRASS VW FAIRBURN GA 30213	Special Handling
3		BAIER APRIL 5949 BLUEGRASS VIEW FAIRBURN GA 30213	Parcel Airlift
4		KOROMA ABU BAKARR KOROMA CYNTHIA 8303 CHAMPION TRL FAIRBURN GA 30213	
5		DESRAVINES MACKLEEN & SPARKMAN DORYAN A 8310 CHAMPION TRL FAIRBURN GA 30213	
6		WAQUOI PATIENCE 8307 CHAMPION TRL FAIRBURN GA 30213	



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USPS® Tracking Number Firm-specific Identifier	Address <small>(Name, Street, City, State, and ZIP Code™)</small>	Postage	Fee
1	DANCER ERIC A 8314 CHAMPION TRL FAIRBURN GA 30213		Parcel Airlift
2	SMART MILLS MONICA 8315 CHAMPION TRL FAIRBURN GA 30213		
3	NGUYEN DAVID & TRAN LOAN T 8318 CHAMPION TRL FAIRBURN GA 30213		
4	MC CORD ROMON 8319 CHAMPION TRL FAIRBURN GA 30213		
5	FKH SFR C1 LP 1850 PARKWAY PL STE 900 MARIETTA GA 30067		
6	CLAYTON MINISTRIES INC 444 TODD RD GREENVILLE GA 30222		



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USPS® Tracking Number <i>Firm-specific identifier</i>	Address <i>(Name, Street, City, State, and Zip Code)™</i>	Postage	Fee
	Special Handling	Parcel Airlift	
BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster, per (name of receiving employee)		
1	GEORGIA POWER COMPANY TAX DEPT BIN 10120 241 RALPH MCGILL BLVD NE ATLANTA GA 30308-3374		
2	HARVEST RAIN CHURCH INTERNATIONAL INC P O BOX 1057 FAIRBURN GA 30213		
3	BARNETT RONALD W & REBECCA P 115 SOUTHWOOD CT FAYETTEVILLE GA 30214		
4	BOHANNON ROAD LLC P O BOX 420367 ATLANTA GA 30342		
5	SOUTHCREEK IV ATLANTA LLC 1800 WAZEE ST DENVER CO 80202		
6	COLEMAN BETTY JO 1535 OAKLEY INDUSTRIAL BLVD FAIRBURN GA 30213		



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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift	
1	DANIELS VERNON 5955 LANDRUM RD FAIRBURN GA 30213					
2	WALKER FABIAN 5960 LANDRUM RD FAIRBURN GA 30213					
3	ALLISON BARBARA A 5965 LANDRUM RD FAIRBURN GA 30213					
4	CARLTON A MARIA 5975 LANDRUM RD FAIRBURN GA 30213					
5	FURR DONNA KAY P.O. BOX 159 FAIRBURN GA 30213					
6	LAWSON LAFAYETTE & ONIE A 5985 LANDRUM RD FAIRBURN GA 30213					



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<small>Postmaster, per (name of receiving employee)</small>					
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
1	OGHAEKOR EMMANUEL 5994 HORSESHOE LANE FAIRBURN GA 30213				
2	JOHNSON ALVIN W 5995 HORSESHOE LN FAIRBURN GA 30213				
3	TAH 2017 1 BORROWER LLC 1508 BROOKHOLLOW DR SANTA ANA CA 92705				
4	2018 1 IH BORROWER LP 1717 MAIN ST STE 2000 DALLAS TX 75201				
5	AZEEZ LEKE 6002 HORSESHOE LANE FAIRBURN GA 30213				
6	ASTON MANOR PROPERTIES LLC 2874 OPEN SKY WAY DOUGLASVILLE GA 30135				



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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift	
1	COLLINS ROBERT 6006 HORSESHOE LN FAIRBURN GA 30213					
2	JAMES ROSE 6007 HORSESHOE LANE FAIRBURN GA 30213					
3	OLIVEIRA GABRIEL P 6011 HORSESHOE LN FAIRBURN GA 30213					
4	HALL GABRIEL D 6018 HORSESHOE LANE FAIRBURN GA 30213					
5	EDWARDS LEE 6022 HORSESHOE LN FAIRBURN GA 30213					
6	COURTOIS CARLINE P O BOX 142375 FAYETTEVILLE GA 30214					



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1	EVORA LOIS 4060 HERSCHEL RD ATLANTA GA 30337				
2	WALKER PATRICIA J 6030 HORSESHOE LANE FAIRBURN GA 30213				
3	ARMSTRONG MARY 6031 TROTTERS CIR FAIRBURN GA 30213				
4	FRANK LABRENNNA & MARK 6032 TROTTERS CIR FAIRBURN GA 30213				
5	ABIKOYE OLABISI 6035 TROTTERS CIR FAIRBURN GA 30213				
6	HALPERN AMY B 6036 TROTTERS CIR FAIRBURN GA 30213				



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326							
USPS® Tracking Number Firm-specific Identifier							
1	BOLLING ANTHONY 6039 TROTTERS CIR FAIRBURN GA 30213						
2	AYANDIRAN YVRODIE JEAN 6040 TROTTERS CIR FAIRBURN GA 30213						
3	NUGENT YVETTE 6043 TROTTERS CIR FAIRBURN GA 30213						
4	BEAUVAIS GREGORY 6044 TROTTERS CIR FAIRBURN GA 30213-4743						
5	SEWELL BELINDA 6060 TROTTERS CIR FAIRBURN GA 30213						
6	MAYS DENITA MARIE 6063 TROTTERS CIR FAIRBURN GA 30213						



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326								
USPS® Tracking Number Firm-specific identifier	1		CHUNG HYE 6064 TROTTERS CIR FAIRBURN GA 30213					
2			BROWNLEE CARMEN 6068 TROTTERS CIR FAIRBURN GA 30213-4720					
3			STOKES IVERY W 6071 TROTTERS CIR FAIRBURN GA 30213					
4			OPENDOOR PROPERTY TRUST I 410 N SCOTTSDALE RD SUITE 1600 TEMPE AZ 85281					
5			DUARTE TAMMY 6075 TROTTERS CIR FAIRBURN GA 30213					
6			OLYMPUS BORROWER LLC PO BOX 4090 SCOTTSDALE AZ 85261					



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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee
1	SCOTT AISHA F 6079 TROTTERS CIR FAIRBURN GA 30213		
2	STEWART DAVID 6080 TROTTERS CIR FAIRBURN GA 30213		
3	FYR SFR BORROWER LLC 3505 KOGER BLVD #400 DULUTH GA 30096		
4	HIXON MARIA CORAZON M & PURA CATHERINE M 6087 TROTTERS CIR FAIRBURN GA 30213		
5	FKH SFR PROPCO B HLD LP 1850 PARKWAY PL STE 900 MARIETTA GA 30067		
6	WOODARD FRANCINE 6091 TROTTERS CIR FAIRBURN GA 30213		



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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee
	Postmaster, per (name of receiving employee)	Special Handling	Parcel Airlift
1	BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	ARCHILLE CHRISTINA 6092 TROTTERS CIR FAIRBURN GA 30213	
2		LAPHAM BRIAN 204 VILLAGE DR SEALY TX 77474	
3		RHODEN NOVLET BECKFORD & VERNEL 6100 TROTTERS CIR FAIRBURN GA 30213	
4		RUFF MARCUS L & SYLVIA L 8090 BOHANNON RD FAIRBURN GA 30213	
5		REYES AGUSTIN 30 LITTLE CREEK DR SHARPSBURG GA 30277	
6		BENTON CATHERINE 3441 MONICA LN SW CONYERS GA 30094	



Certificate of Mailing — Firm (Domestic)

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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster, per (name of receiving employee)					
1	BENTON RICHARD L 8125 BOHANNON RD FAIRBURN GA 30213					
2	DICKSON BRIAN 8155 BOHANNON DR FAIRBURN GA 30213					
3	GLISSON JONATHAN WILLIAM 8156 BOHANNON RD FAIRBURN GA 30213					
4	ALTO ASSET COMPANY 1 LLC 5001 PLAZA ON THE LK STE 200 AUSTIN TX 78746					
5	SAFO JULIET O 8203 CHAMPION TRL FAIRBURN GA 30213					
6	JEAN B. CHANTAL & LESPINASSE CARLA REGINE 8206 CHAMPION TRL FAIRBURN GA 30213					



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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee
1	GERMAIN RUTH 8207 CHAMPION TRL FAIRBURN GA 30213		Parcel Airlift
2	CHAPMAN TYLER J 8211 CHAMPION TRL FAIRBURN GA 30213		
3	PADDI PATRICIA ABBAN 2108 SCOTLAND ST VIRGINIA BEACH VA 23456-5790		
4	MNSF II ACQUISITIONS LLC 6836 MORRISON BLVD STE 320 CHARLOTTE NC 28211		
5	WILLIAMS GENEICE 8219 CHAMPION TRL FAIRBURN GA 30213		
6	RS RENTAL II LLC 1955 VAL VISTA DR SUITE 126 MESA AZ 85204		



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	Special Handling	Parcel Airlift	
BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster: per (name of receiving employee)		
1	SAFARI ONE ASSET COMPANY LLC 5001 PLAZA ON THE LAKE STE 200 AUSTIN TX 78746		
2	GARCIA IGOR 5027 MERIDEN DR HOUSTON TX 77084-7231		
3	REYNOLDS LAURINDA 9230 CHAMPION TRL FAIRBURN GA 30213		
4	LAMAR VERONICA M GANNY 8231 CHAMPION TRL FAIRBURN GA 30213		
5	MATEEN EUGENE A 8234 CHAMPION TRL FAIRBURN GA 30213		
6	EKEOMA GODSWILL 8238 CHAMPION TRL FAIRBURN GA 30213		



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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster per (name of receiving employee)					
1	ANDERSON MARSHA 8242 CHAMPION TRL FAIRBURN GA 30213					
2	SHEALEY TRACIE 8250 CHAMPION TRL FAIRBURN GA 30213					
3	PATRICK SHIVANANADA 8259 CHAMPION TRL FAIRBURN GA 30213					
4	GRAHAM NORA 8262 CHAMPION TRL FAIRBURN GA 30213					
5	MANGHAM CHARMAINE RYAN 8266 CHAMPION TRL FAIRBURN GA 30213					
6	WRIGHT YOLANDA A 8267 CHAMPION TRL FAIRBURN GA 30213					



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USPS® Tracking Number Firm-specific Identifier		Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
1		HILLIARD JOHN & CILOT 8270 CHAMPION TRL FAIRBURN GA 30349				
2		WEATHERLY CARLE ANTONIO 8271 CHAMPION TRL FAIRBURN GA 30213				
3		FAYETTE LAMP POST LLC 3068 FRAZIER WALK DECATUR GA 30033-1853				
4		ROLAND RITA Y & ATKINSON TINA 8278 CHAMPIONS TRL FAIRBURN GA 30213				
5		BRUTUS HENRY C & MIREILLE 8282 CHAMPION TRL FAIRBURN GA 30213				
6		WARD LASHUNDA 8286 CHAMPION TRL FAIRBURN GA 30213				



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	Special Handling	Parcel Airlift	
BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster: per (name of receiving employee)		
1	LASSITER GUY W & PHYLLIS M 8355 BOHANNON RD FAIRBURN GA 30213		
2	HOOD WALTER E 8365 BOHANNON RD FAIRBURN GA 30213		
3	GODBAY RONALD D & GODBEY PEGGY E 8370 BOHANNON RD FAIRBURN GA 30213		
4	SHINSTINE EDWARD & BOTTLE R. ENTERPRISES LLC 8385 BOHANNON DR FAIRBURN GA 30213		
5	RUBIO ESAU 2492 OLD NORCROSS RD TUCKER GA 30084		
6	CITY OF FAIRBURN P O BOX 145 FAIRBURN GA 30213		



Certificate of Mailing — Firm (Domestic)

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BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster, per (name of receiving employee)		
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee
1	HARVEST RAIN CHURCH INTERNATIONAL INC 51 SENOIA RD FAIRBURN GA 30213		
2			
3			
4			
5			
6			

Instructions for Certificate of Mailing — Firm Service

This service provides evidence that the mailer has presented items for mailing to the Postal Service™. The following instructions are for the preparation and use of PS Form 3665, *Certificate of Mailing – Firm (Domestic)* (including facsimiles), for individual First-Class Mail®, First-Class Package Service®, Priority Mail®, Media Mail®, Library Mail, Bound Printed Matter, Parcel Return Service, and USPS Retail Ground™ items.

1. Complete and print all forms in ink or ball point pen.
2. Enter the name and address of the sender at the top of the form.
3. Enter a complete return address on each article.
4. Ensure the articles are properly packaged.
5. In the appropriate column, enter the applicable postage and fees.
6. Insert a firm-specific identifier or account number if desired. (This number is for the sender's use only, and the Postal Service will not use it for identification.)
7. When describing and listing three or more individual pieces but not presenting the pieces in the order shown on the sheet, consecutively number each entry line on the sheet and number each piece to show both the corresponding sheet and line number.
8. Enter the total number of articles in the proper space at the top of the form.
9. Obliterate all unused portions of the "Address" column by drawing a diagonal line through the unused portion on the form.
10. When the number of articles presented exceeds the allotted space on the form, use multiple sheets, and in the provided blank spaces in the lower left of the form, number them consecutively to show sheet number and total number of sheets (such as "Page 1 of 4," "Page 2 of 4," etc.).
11. Present PS Form 3665 and the mailing as follows:
 - When the mailing has fewer than 50 mailpieces and less than 50 pounds, present the form and mailing at a retail Post Office™ location.
 - When the mailing has at least 50 mailpieces or at least 50 pounds, present the form and mailing at a business mail entry unit (BMEU) or USPS-authorized detached mail unit (DMU).

Privately Printed Forms: The Postal Service allows mailers to use USPS-approved privately printed or computer-generated firm sheets that are nearly identical in design elements and color to the USPS-provided PS Form 3665. See DMM 503 for details on the approval process.

The mailer must retain the original written approval granted by the Postal Service as evidence that the privately printed facsimile of PS Form 3665 has been approved by the Postal Service. The Postal Service does not retain records on the facsimile approvals. A mailer using privately prepared forms must periodically verify them against the USPS-provided version and, if necessary, make routine updates and obtain approval of the updated facsimile form.

A mailer using an approved privately printed form and wanting the form sheets postmarked by the Postal Service must present the forms with the articles to be mailed at a Post Office facility. The forms become the mailer's only receipt (the Postal Service does not retain a copy).



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

Bohannon Road Venture, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

TOTAL NO.
of Pieces Listed by Sender

78

TOTAL NO.
of Pieces Received at Post Office™

78

Affix
Postage



0000

U.S. POSTAGE PAID

ATLANTA, GA
30339
OCT 03, 24
AMOUNT

\$31.85
R2303S104131-47

Postmaster, per (name of receiving employee)



0000

U.S. POSTAGE PAID

ATLANTA, GA
30339
OCT 03, 24
AMOUNT

\$18.85
R2303S104131-47

USPS® Tracking Number
Firm-specific Identifier

1

CLAYTON MELETTA

3876 MEADOW GLEN WAY

FAIRBURN GA 30213

2

SFR XII OWNER 1 LP

4645 HAWTHORNE LANE NW

WASHINGTON DC 20016

3

PATE ERIC C & PATE COURTNEY

3884 MEADOW GLEN WAY

FAIRBURN GA 30213

4

HIPP PATRICK H & GENITIA T

3888 MEADOW GLEN WAY

FAIRBURN GA 30213

5

DUKES RENTALS LLC

P.O. BOX 561502

ROCKLEDGE FL 32956-1502

6

BROOKS SHELIA

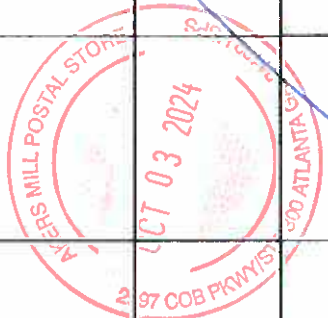
3985 MEADOW GLEN WAY

FAIRBURN GA 30213

Special Handling

Fee

Postage





Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

Bohannon Road Venture, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

TOTAL NO.
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Affix Stamp Here
Postmark with Date of Receipt.

Postmaster, per (name of receiving employee)



USPS® Tracking Number
Firm-specific Identifier

Address
(Name, Street, City, State, and ZIP Code™)

Postage

Fee

Special Handling

Parcel Airlift

1

LUYLERBOX PROPERTIES LLC

13259 WOOLSEY RD

HAMPTON GA 30228

2

UPPAL GULSHAN & KATARIA NATASHA

2701 W SUMMIT DR

JOPLIN MO 64804

3

SAMUELS ELLEN W

3993 MEADOW GLEN WAY

FAIRBURN GA 30213

UHIHARA TAKAHIRO

3 41 5 601 OTSUKA BUNKYO KU

JPN TOKYO 1120012

5

FALCAO DAVID & DSOUZA JESSICA T

5482 WAVERLY DR

ATLANTA GA 30349

6

GRETSKY GA LLC & TOLSTOY GA LLC

853 BROADWAY FLOOR 5

NEW YORK NY 10003



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Address
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Postage

Fee

Special Handling

Parcel Airlift

1

SMALLS MARGIE L
4024 MEADOW GLEN WAY
FAIRBURN GA 30213

2

MIDDLEBROOKS KEVIN P
4032 MEADOW GLEN WAY
FAIRBURN GA 30213

3

GUTHRIE ARICK & TASHIA
4036 OLDE GLEN CV
FAIRBURN GA 30213

4

THOMAS RONALD J
4040 MEADOW GLEN WAY
FAIRBURN GA 30213

5

GRESHAM JAMES E & BONITA G
4044 OLDE GLEN COVE
FAIRBURN GA 30213

6

HANKS TYANA
4048 OLDE GLEN CV
FAIRBURN GA 30213



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Postage

Fee

Special Handling

Parcel Airlift

1

CARTER UWONDA S
4052 OLDE GLEN COVE
FAIRBURN GA 30213

2

SATKAS WANDA B
5280 HOPE PL
MATTESON IL 60443

3

FRACTIONAL PEACHFLOWER LLC
195 RECINO ST
FREMONT CA 94539

4

ABERE BAPAKAYE
4068 OLDE GLEN CV
FAIRBURN GA 30213

5

IH4 PROPERTY GEORGIA L P
950 N POINT PKWY STE 350
ALPHARETTA GA 30005

6

PROGRESS RESIDENTIAL BORROWER 8
LLC
P O BOX 4090
SCOTTSDALE AZ 85261



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

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3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

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Postage

Fee

Special Handling

Parcel Airlift

1

IATLUH DAYONNA
3600 POINTE CT
FAIRBURN GA 30213

2

CAICANO JOSE N + CONTRASAS
NIVIA E
155 OUTSIDE COURT
FAIRBURN, GA 30215-0200

3

2014 3 IH BORROWER LP
901 MAIN ST STE 4700
DALLAS TX 75202

4

Carbin Bruce + Carbin Carolyn
3605 POINTE COURT
FAIRBURN, GA 30213

5

GENTRY ROYAL SHAKORA
3608 POINTE CT
FAIRBURN GA 30213

6

COMADORE TERRELYNN
3609 POINT CT
FAIRBURN GA 30213



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

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3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

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Postage

Fee

Special Handling

Parcel Airlift

1

DE JESUS JEANNETTE + PESANTE INS
IVETE

90 Palladian Drive
Seneca, GA 30276

2

LOWE TIMEKIA Y
3617 POINTE CT

FAIRBURN GA 30213
PROGRESS ATLANTA LLC
P O BOX 4090
SCOTTSDALE AZ 85261

3

4

2018 3 IH Borrower LP + 2018
4 IH Borrower LP
1717 MAIN Street, Suite 2000
DALLAS, TX 75201

5

ZERPSED ENTERPRISES LLC
115 HEALEY PASS
TYRONE GA 30290

6

YAMASA CO LTD
P O BOX 4090
SCOTTSDALE AZ 85261



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Postage

Special Handling

Parcel Airlift

1

Corbett Tiffany
3105 Point Circle
Fairburn, GA 30213

2

EDMONDS SHIRLEY A
3708 POINT CIR
FAIRBURN GA 30213

3

STEPHENS BRENDA LASHON
3709 POINTE CIR
FAIRBURN GA 30213

4

Rivas Carmen J
3112 Point Circle
Fairburn, GA 30213

5

MIXON JAKIYA
3713 POINTE CIR
DAY FL 32013

6

UGBOME ARMESHA MENAE & UGBOME
BLESSING OGHENETEGA
3716 POINTE CIR
FAIRBURN GA 30213



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Postage

Fee

Special Handling

Parcel Airlift

1

BLACKWELL Sabrina K
3717 Point Curve
FAIRBURN GA 30213

2

COURTOIS INVESTMENTS LLC
P O BOX 142375
FAYETTEVILLE GA 30214

3

JOHNSON JOHN JR
3721 POINTE CIR
FAIRBURN GA 30213

4

McKibben Brent
3724 Point Circle
FAIRBURN GA 30213

5

VELASQUEZ FANNY & ERAZO KARLA
3725 POINT CIR
FAIRBURN GA 30213

6

TARAVELLA JACK SR
159 -03 79TH ST
HOWARD BEACH NY 11414



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Fee

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Parcel Airlift

1

PERSON Bukala
3733 POINTE CIRCLE
Fairburn GA 30213

2

PAGAYA SMARTRESI F1 FUND PROPERTY
OWNER II LLC
3852 MEADOW GLEN WAY
FAIRBURN GA 30213

3

MC CRORY JENELL
3856 MEADOW GLEN WAY
FAIRBURN GA 30213

4

Gaelia Morine
5016 Green Grove Ave
Uniondale, NY 11553

5

GREEN SLONE
3864 MEADOW GLEN WAY
FAIRBURN GA 30213

6

BROOKS LINDA
2126 CASTLEWYCKE CT
MARIETTA GA 30068



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Postage

Fee

Special Handling

Parcel Airlift

1

WARE JONAS S & JACQUELINE S

4080 OLDE GLEN COVE

FAIRBURN GA 30213

2

BERRY MELROSE

4084 OLDE GLEN COVE

FAIRBURN GA 30213

3

BRANDON VIVIAN E

5001 MEADOW TRCE

FAIRBURN GA 30213-4282

4

RADWAN SHARION D FIDDEMON

5005 MEADOW TRC

FAIRBURN GA 30213

5

MAB LIVING LLC

69 BARBARA LANE

LEVITOWN NY 11756

6

WARE KEE AI

5013 MEADOW TRCE

FAIRBURN GA 30213-4282



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Postage

Fee

Special Handling

Parcel Airlift

1

HARPS QUINTESSA
5017 MEADOW TRCE
FAIRBURN GA 30213-4282

2

TAH 2017 2 BORROWER LLC
1508 BROOKHOLLOW DR
SANTA ANA CA 92705

3

OLYMPUS BORROWER 1 LLC
PO BOX 4090
SCOTTSDALE AZ 85261

4

GONZALEZ ANA M
5029 MEADOW TRCE
FAIRBURN GA 30213-4282

5

DUAL EQUITY ENTERPRISE LLC
P O BOX 34
TYRONE GA 30290

6

GREEN DANA
5037 MEADOW TRCE
FAIRBURN GA 30213-4282



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1

CARTER BARBARA & TERRY L
5041 MEADOW TRCE
FAIRBURN GA 30213-4282

2

ERSKINE ZEPHANIAH & ERSKINE LILLIAN
1257 NOBLE AVE
BRONX NY 10472

3

COOPER MARYANN
5049 MEADOW TRC
FAIRBURN GA 30213

4

WILSON GLEN & MERLENE
5053 MEADOW TRCE
FAIRBURN GA 30213-4282

5

WHITE YOLANDA MIGNON
5057 MEADOW TRC
FAIRBURN GA 30213

6

CK GROUP LLC
P O BOX 1757
ROSWELL GA 30077



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

Bohannon Road Venture, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

TOTAL NO.
of Pieces Listed by Sender

35

TOTAL NO.
of Pieces Received at Post Office™

Affix Stamp Here

Postmark with Date of Receipt.



Postmaster, per (name of receiving employee)

K Anguina

USPS® Tracking Number
Firm-specific Identifier

1

TOLSTOY GA LLC
853 BROADWAY FLOOR 5TH
NEW YORK NY 10033

2

ASSOCIATED PARTNERS LLC
3418 DEER LANE DR
TALLAHASSEE FL 32312

3

ROUNDTREE ALCANA A
125 BELMONT TER
FAIRBURN GA 30213

4

GRACE RAYMOND L
135 BELMONT TER
FAIRBURN GA 30213

5

FELDER JEREMY
105 BELMONT TER
FAIRBURN GA 30213

6

BOYD MIA
5872 BLUEGRASS VW
FAIRBURN GA 30213

Postmark

U.S. POSTAGE PAID
ATLANTA, GA
30327
OCT 09 24
AMOUNT



\$1.95
\$2324A502693-12

U.S. POSTAGE PAID
ATLANTA, GA
30327
OCT 09 24
AMOUNT



\$20.80
\$2324A502693-12



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

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3343 Peachtree Rd NE, # 1600
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TOTAL NO.
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Postmaster, per (name of receiving employee)

K. Auger

USPS® Tracking Number
Firm-specific Identifier

Postage

Fee

Special Handling

Parcel Airlift

1

STROZIER ANTHONY W
5873 BLUEGRASS VIEW
FAIRBURN GA 30213

2

MILLS MELISSA L
5877 BLUEGRASS VIEW
FAIRBURN GA 30213

3

SFR JV 2 PROPERTY LLC
PO BOX 15087
SANTA ANA CA 92735

4

LOCKETT SHERRY L & WHITTIE
5884 BLUEGRASS VIEW
FAIRBURN GA 30213

5

OPENDOOR PROPERTY TRUST I
5885 BLUEGRASS VW
FAIRBURN GA 30213

6

MC CARTHNEY MACK & MARGARET
5889 BLUEGRASS VIEW
FAIRBURN GA 30213



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

Bohannon Road Venture, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

TOTAL NO.
of Pieces Listed by Sender

TOTAL NO.
of Pieces Received at Post Office™

Affix Stamp Here
Postmark with Date of Receipt.

Postmaster, per (name of receiving employee)
K. Figuera



USPS® Tracking Number
Firm-specific Identifier

Address
(Name, Street, City, State, and ZIP Code™)

Postage

Fee

Special Handling

Parcel Airlift

1

HODGES JANESEA
5892 BLUEGRASS VIEW
FAIRBURN GA 30213

2

JONES ANTHONY & JONES RHONDA ALICIA
5893 BLUEGRASS VIEW
FAIRBURN GA 30213

3

BROWN KEISHA T
5896 BLUEGRASS VIEW
FAIRBURN GA 30213

4

WASHINGTON BLAIR
5897 BLUEGRASS VIEW
FAIRBURN GA 30213

5



HOUSTON SHAQUONZA & HOUSTON WAYNE ANTHONY
5900 BLUEGRASS VW
FAIRBURN GA 30213

6

SWINGER CHERYL B
5905 BLUEGRASS VIEW
FAIRBURN GA 30213



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of Receipt.
Bohannon Road Venture, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326			
USPS® Tracking Number Firm-specific Identifier	Postmaster, per (name of receiving employee) 	Address (Name, Street, City, State, and ZIP Code™)	
1		FRANCOIS MICHELLE 5909 BLUEGRASS VW FAIRBURN GA 30213	
2		CALDERON M. A. NOLASCO & NOLASCO N. A LINARES 5912 BLUEGRASS VW FAIRBURN GA 30213	
3		GEMES KATRINA A 5913 BLUEGRASS VW FAIRBURN GA 30213	
4		MC CAIN ARLICIA N 5917 BLUEGRASS VIEW FAIRBURN GA 30213	
5		JORDAN SHIRL 5933 BLUEGRASS VIEW FAIRBURN GA 30213	
6		ROTHERHAM TODD M & KIM Y 4764 SUNSHINE AVE SANTA ROSA CA 95409	



Certificate of Mailing — Firm (Domestic)

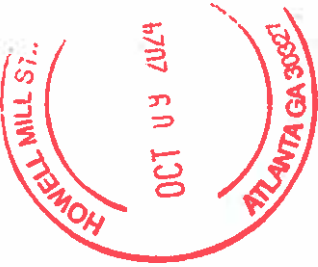
Name and Address of Sender

Bohannon Road Venture, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

TOTAL NO.
of Pieces Listed by Sender

TOTAL NO.
of Pieces Received at Post Office™

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Postmark with Date of Receipt



Postmaster, per (name of receiving employee)

K. Augua

USPS® Tracking Number
Firm-specific Identifier

Address
(Name, Street, City, State, and ZIP Code™)

Postage

Fee

Special Handling

Parcel Airlift

1

WYNN LISA M
5937 BLUEGRASS VIEW
FAIRBURN GA 30213

2

HAUGHTON RACQUEL R
5941 BLUEGRASS VW
FAIRBURN GA 30213

3

BAIER APRIL
5949 BLUEGRASS VIEW
FAIRBURN GA 30213

4

KOROMA ABU BAKARR KOROMA CYNTHIA
8303 CHAMPION TRL
FAIRBURN GA 30213

5

DESRAVINES MACKLEEN & SPARKMAN DORYAN A
8310 CHAMPION TRL
FAIRBURN GA 30213

6

WAQUOI PATIENCE
8307 CHAMPION TRL
FAIRBURN GA 30213



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

Bohannon Road Venture, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

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Postmaster, per (name of receiving employee)

K. Ingura

USPS® Tracking Number
Firm-specific Identifier

Address
(Name, Street, City, State, and ZIP Code™)

Postage

Fee

Special Handling

Parcel Airlift

1

DANCER ERIC A
8314 CHAMPION TRL
FAIRBURN GA 30213

2

SMART MILLS MONICA
8315 CHAMPION TRL
FAIRBURN GA 30213

3

NGUYEN DAVID & TRAN LOAN T
8318 CHAMPION TRL
FAIRBURN GA 30213

4

MC CORD ROMON
8319 CHAMPION TRL
FAIRBURN GA 30213

5

FKH SFR C1 LP
1850 PARKWAY PL STE 900
MARIETTA GA 30067

6

Instructions for Certificate of Mailing — Firm Service

This service provides evidence that the mailer has presented items for mailing to the Postal Service™. The following instructions are for the preparation and use of PS Form 3665, *Certificate of Mailing — Firm (Domestic)* (including facsimiles), for individual First-Class Mail®, First-Class Package Service®, Priority Mail®, Media Mail®, Library Mail, Bound Printed Matter, Parcel Return Service, and USPS Retail Ground™ items.

1. Complete and print all forms in ink or ball point pen.
2. Enter the name and address of the sender at the top of the form.
3. Enter a complete return address on each article.
4. Ensure the articles are properly packaged.
5. In the appropriate column, enter the applicable postage and fees.
6. Insert a firm-specific identifier or account number if desired. (This number is for the sender's use only, and the Postal Service will not use it for identification.)
7. When describing and listing three or more individual pieces but not presenting the pieces in the order shown on the sheet, consecutively number each entry line on the sheet and number each piece to show both the corresponding sheet and line number.
8. Enter the total number of articles in the proper space at the top of the form.
9. Obliterate all unused portions of the "Address" column by drawing a diagonal line through the unused portion on the form.
10. When the number of articles presented exceeds the allotted space on the form, use multiple sheets, and in the provided blank spaces in the lower left of the form, number them consecutively to show sheet number and total number of sheets (such as "Page 1 of 4," "Page 2 of 4," etc.).
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 - When the mailing has fewer than 50 mailpieces and less than 50 pounds, present the form and mailing at a retail Post Office™ location.
 - When the mailing has at least 50 mailpieces or at least 50 pounds, present the form and mailing at a business mail entry unit (BMEU) or USPS-authorized detached mail unit (DMU).

Privately Printed Forms: The Postal Service allows mailers to use USPS-approved privately printed or computer-generated firm sheets that are nearly identical in design elements and color to the USPS-provided PS Form 3665. See DMM 503 for details on the approval process.

The mailer must retain the original written approval granted by the Postal Service as evidence that the privately printed facsimile of PS Form 3665 has been approved by the Postal Service. The Postal Service does not retain records on the facsimile approvals. A mailer using privately prepared forms must periodically verify them against the USPS-provided version and, if necessary, make routine updates and obtain approval of the updated facsimile form.

A mailer using an approved privately printed form and wanting the form sheets postmarked by the Postal Service must present the forms with the articles to be mailed at a Post Office facility. The forms become the mailer's only receipt (the Postal service does not retain a copy).



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

BOHANNON ROAD VENTURE, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

TOTAL NO.
of Pieces Listed by Sender

180

TOTAL NO.
of Pieces Received at Post Office™

Affix Stamp Here

Postmark with Date of Receipt.



Postmaster, per (name of receiving employee)

K. August

*LT
Madori Kelly*

USPS Tracking Number
Firm-specific Identifier

Address
(Name, Street, City, State, and ZIP Code™)

1
VARNER JOHN H JR & WILLA R
9051 HIGHLAND PKWY
FAIRBURN GA 30213-4295

2
SPENCER KATHY
9442 DEER CROSSING DR
JONESBORO GA 30236-5197

3
PAREDES LUSI G & CHICAS HECTOR M
1000 MEADOW GLEN CIR
FAIRBURN GA 30213

4
MAYS CAANDI G
1001 MEADOWS GLEN CIR
FAIRBURN GA 30213

5
RAMDULAR NEIL & REBECCA
1004 MEADOW GLEN CIR
FAIRBURN GA 30213

6
SMITH CHATTAM III & FRIESON LEONA L
1005 MEADOW GLEN CIR
FAIRBURN GA 30213

U.S. POSTAGE PAID
ATLANTA, GA
30327
OCT 09 24
AMOUNT
\$21.45
92324A502693-12

U.S. POSTAGE PAID
ATLANTA, GA
30327
OCT 09 24
AMOUNT
\$31.85
92324A502693-12

U.S. POSTAGE PAID
ATLANTA, GA
30327
OCT 09 24
AMOUNT
\$31.85
92324A502693-12

U.S. POSTAGE PAID
ATLANTA, GA
30327
OCT 09 24
AMOUNT
\$31.85
92324A502693-12



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Name and Address of Sender

BOHANNON ROAD VENTURE, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

TOTAL NO.
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TOTAL NO.
of Pieces Received at Post Office™

Affix Stamp Here
Postmark with Date of Receipt.



Postmaster, per (name of receiving employee)

K. Juguera

USPS® Tracking Number
Firm-specific Identifier

Address
(Name, Street, City, State, and ZIP Code™)

Parcel Airlift

Special Handling

Fee

Postage

1

SHARPE WILLIAM T
1008 MEADOW GLEN CIR
FAIRBURN GA 30213

2

SFR XII ATL OWNER 6 LP
9200 E HAMPTON DR
CAPITAL HEIGHTS MD 20743

3

COLON VIVIAN
1012 MEADOW GLEN CIR
FAIRBURN GA 30213

4

LESLIE JAMES
P.O. BOX 592
TYRONE GA 30290

5

TORRES LUZ A
1016 MEADOW GLEN CIR
FAIRBURN GA 30213

6

CARTER DELLA
1017 MEADOW GLEN CIR
FAIRBURN GA 30213



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

BOHANNON ROAD VENTURE, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

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TOTAL NO.
of Pieces Received at Post Office™

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Postmark with Date of Receipt.



Postmaster, per (name of receiving employee)

K. Jugna

USPS® Tracking Number
Firm-specific Identifier

Address
(Name, Street, City, State, and ZIP Code™)

Parcel Airlift

Special Handling

Fee

Postage

1

RAMCHARAN MICHAEL & ANNIE
1020 MEADOW GLEN CIR
FAIRBURN GA 30213

2

CAMERON DELABIA L
1021 MEADOW GLEN CIR
FAIRBURN GA 30213

3

IH BORROWER LP
901 MAIN ST STE 4700
DALLAS TX 75202

4

BRIDGES CASSANDRA J
1025 MEADOW GLEN CIR
FAIRBURN GA 30213

5

GIBSON VICKIE
1028 MEADOW GLEN CIR
FAIRBURN GA 30213-4236

6

QUARLES JAMES H & JOYCE
1029 MEADOW GLEN CIR
FAIRBURN GA 30313



Certificate of Mailing — Firm (Domestic)

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K. Jugueta

USPS® Tracking Number
Firm-specific Identifier

Address
(Name, Street, City, State, and ZIP Code™)

Postage

Fee

Special Handling

Parcel Airift

1

PORTER RASCHELLE
1032 MEADOW GLEN CIR
FAIRBURN GA 30213

2

BUTLER TRENECIA S
1033 MEADOW GLEN CIR
FAIRBURN GA 30213

3

HOME SFR BORROWER II LLC
1110 STRAND ST STE 2A
CHRISTIANSTED 00820

4

HERNANDEZ SARA
1037 MEADOW GLEN CIR
FAIRBURN GA 30213

5



WARE CHRISTINE
1040 MEADOW GLEN CIR
FAIRBURN GA 30213

6

JOHNSON MAURICE
1041 MEADOW GLEN CIR
FAIRBURN GA 30213



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	TOTAL NO. of Pieces Listed by Sender Postmaster, per (name of receiving employee) 	TOTAL NO. of Pieces Received at Post Office™ Affix Stamp Here Postmark with Date of Receipt. 	USPS® Tracking Number Firm-specific Identifier 1 2 3 4 5 6	Address (Name, Street, City, State, and ZIP Code™) MARTINEZ ABEL 1044 MEADOW GLEN CIR FAIRBURN GA 30213 DIVY HOMES WAREHOUSE II LLC 530 HOWARD ST STE 100 SAN FRANCISCO CA 94105 LEWIS EDWARD L & CATHERINE 1048 MEADOW GLEN CIR FAIRBURN GA 30213 ARMOUR WILLIE 1049 MEADOW GLEN CIR FAIRBURN GA 30213 SWANN BERTHA M 1052 MEADOW GLEN CIR FAIRBURN GA 30213 PORTER BERYL RODERICK 1053 MEADOW GLEN CIR FAIRBURN GA 30213	Postage	Fee	Special Handling	Parcel Airlift
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Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

Bohannon Road Venture, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

TOTAL NO.
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Postmaster, per (name of receiving employee)

K. Juguina

USPS® Tracking Number
Firm-specific Identifier

Address
(Name, Street, City, State, and ZIP Code™)

Parcel Airlift

Special Handling

Fee

Postage

1

STEPHENS CALVIN A
1056 MEADOW GLEN CIR
FAIRBURN GA 30213

2

EDWARDS BATISA
1057 MEADOW GLEN CIR
FAIRBURN GA 30213

3

CHAPPELL PEARL & DORIS
1060 MEADOW GLEN CIR
FAIRBURN GA 30213

4

EVANS CASSANDRA
1064 MEADOW GLEN CIR
FAIRBURN GA 30213

5

IH4 PROPERTY GEORGIA LP
950 NORTHPOINT PKWY
ALPHARETTA GA 30005

6

ROE DOROTHY J & BEATTY CHERAMIE
5 RAINBOW LN
AMITYVILLE NY 11701



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

Bohannon Road Venture, LLC
8343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

TOTAL NO.
of Pieces Listed by Sender

TOTAL NO.
of Pieces Received at Post Office™

Affix Stamp Here
Postmark with Date of Receipt



Postmaster, per (name of receiving employee)

K. Figuera

USPS® Tracking Number
Firm-specific Identifier

Address
(Name, Street, City, State, and ZIP Code™)

Postage

Fee

Special Handling

Parcel Airlift

1

FAIRBURN PROPERTY OWNER
5001 PLAZA ON THE LAKE SUITE 200
AUSTIN TX 78746

2

HOSEA CELICE
1076 MEADOW GLEN CIR
FAIRBURN GA 30213

3

SMITH TIJUANA TAVARES
1080 MEADOW GLEN CIR
FAIRBURN GA 30213

4

SPRINGER CORBIN & DENNIS
1084 MEADOW GLN
FAIRBURN GA 30213

5

ELDER LARRY & KIMBERLY
1088 MEADOW GLEN CIR
FAIRBURN GA 30213

6

TLG HOLDINGS LLC
P O BOX 596
SHARPSBURG GA 30277



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

Bohannon Road Venture, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

TOTAL NO.
of Pieces Listed by Sender

TOTAL NO.
of Pieces Received at Post Office™

Affix Stamp Here
Postmark with Date of Receipt.



Postmaster, per (name of receiving employee)

K. J. J. J.

USPS® Tracking Number
Firm-specific Identifier

Address
(Name, Street, City, State, and ZIP Code™)

Postage Fee Special Handling Parcel Airlift

1

LUXOR SFR SPV 1 LLC
1114 AVENUE OF THE AMERICAS FLOOR 28TH
NEW YORK NY 10036

2

BHOWMICK VIKASH
2004 MEADOW GLEN CIR
FAIRBURN GA 30213

3

WILLIAMS MAI LAN
2008 MEADOW GLEN CIR
FAIRBURN GA 30213

4

VE PROPERTIES LLC
378 EBENEZER CHURCH RD
FAYETTEVILLE GA 30215-5208

5

PACE CHRISTOPHER
2016 MEADOW GLEN CIR
FAIRBURN GA 30213-3136

6

PLEHN NHORA M
145 EDMONDSON WAY
FAYETTEVILLE GA 30214



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender
BOHANNON ROAD VENTURE, LLC
 3343 Peachtree Rd NE, # 1600
 Atlanta, GA 30326

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K. J. J. J.



Affix Stamp Here
 Postmark with Date of Receipt



USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
1	GIBSON KAMRYN & GIBSON TOMMY F 8008 HIGHLAND PKWY UNIT 24 FAIRBURN GA 30213				
2	KNOX DEXTER P 8016 HIGHLAND PKWY FAIRBURN GA 30213				
3	LOMAX JERRY D & SHERYL H 8020 HIGHLAND PKWY FAIRBURN GA 30213				
4	CULLINANE KELLY J 8024 HIGHLAND PKWY FAIRBURN GA 30213				
5	AMERICAN RESIDENTIAL LEASING COMPANY 2015 SPEAR ST STE 1850 SAN FRANCISCO CA 94105				
6	HAUPT RICHARD W & TAE YOUNG S 55 BRINLEY DR SHARPSBURG GA 30277				





Certificate of Mailing — Firm (Domestic)

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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airift
1	STOVALL FRANKLIN II 8036 HIGHLAND PKWY FAIRBURN GA 30213				
2	DISEPANO ANTHONY 8044 HIGHLAND PKWY FAIRBURN GA 30213				
3	DESPREZ ROBERT J ET AL 310 GAELIC WAY TYRONE GA 30290				
4	CBPIC GA OWNER 1 LLC 251 LITTLE FALLS DR WILMINGTON DE 19808				
5	HERNANDEZ JUAN & PEREZ LORENA 8056 HIGHLAND TRL FAIRBURN GA 30213				
6	BROWN MARCI 8060 HIGHLAND TRCE FAIRBURN GA 30213-4291				





UNITED STATES
POSTAL SERVICE®

Certificate of Mailing — Firm (Domestic)

Name and Address of Sender BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	TOTAL NO. of Pieces Listed by Sender Postmaster, per (name of receiving employee) 	TOTAL NO. of Pieces Received at Post Office™ Affix Stamp Here Postmark with Date of Receipt.		Postage	Fee	Special Handling	Parcel Airift
USPS® Tracking Number Firm-specific Identifier 1 2 3 4 5 6	Address (Name, Street, City, State, and ZIP Code™) PERRY KEISA & HARMON CLINTON M 8064 HIGHLAND TRCE FAIRBURN GA 30213-4291 KING DWAYNE H 8068 HIGHLAND TRCE FAIRBURN GA 30213-4291 BLACKWELL WILLIAM Q & CHRISTIE D 8072 HIGHLAND TRCE FAIRBURN GA 30213-4291 FARLEY TAMMY L 8076 HIGHLAND TRCE FAIRBURN GA 30213-4291 HPA CL1 LLC 8080 HIGHLAND TRC FAIRBURN GA 30213 APPLEBY RHONDA 8084 HIGHLAND TRCE FAIRBURN GA 30213-4291						



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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airift
1	HARRIS JOAN 8088 HIGHLAND TRCE FAIRBURN GA 30213-4291				
2	ALLEN MICHELE A 8092 HIGHLAND TRCE FAIRBURN GA 30213				
3	LYNNAH KINSHASA 8096 HIGHLAND TRCE FAIRBURN GA 30213				
4	PATRICIAN CF LLC 8027 JEFFERSON HWY BATON ROUGE LA 70809				
5	ALEXIS MATHIEU 1233 OCEAN AVE APT 4 F BROOKLYN NY 11230				
6	FOSTER PARRY LEE JOHNSON 9001 HIGHLAND PASS FAIRBURN GA 30213				



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	TOTAL NO. of Pieces Listed by Sender Postmaster, per (name of receiving employee) <i>K. Jugua</i>	TOTAL NO. of Pieces Received at Post Office™ Affix Stamp Here Postmark with Date of Receipt.			
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
1	MARTIN AMANDA ERITTA 9002 HIGHLAND PASS FAIRBURN GA 30213				
2	TITSWORTH MESHELLE 9005 HIGHLAND PASS FAIRBURN GA 30213				
3	HAMBRICK KELLIE 9009 HIGHLAND PASS FAIRBURN GA 30213				
4	DAVIS EDDIE D & CORETTA E 103 BRUNSWICK TYRONE GA 30290				
5	ZERPSED ENTERPRISES LLC 115 HEALEY PASS TYRONE GA 30290				
6	FAIRBURN PROPERTY OWNER 4441 MARSH RD MARIETTA GA 30066				




Certificate of Mailing — Firm (Domestic)

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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
1	HARRIS JAMES A 1090 N COURT DR DULUTH GA 30096				
2	MC ARTHUR JOSHUA D 9018 HIGHLAND PASS FAIRBURN GA 30213				
3	BOLLING DOROTHY & JOHNSON BEVERLY 1 SECOND ST WESTBURY NY 11590				
4	GARCIAS MARIANO GARCIA 726 S FAIRFIELD DR PEACHTREE CITY GA 30269				
5	FAIRBURN PROPERTY OWNER 8300 N MOPAC EXPRESSWAY STE 200 AUSTIN TX 78759				
6	SIMS AXUELE 9026 HIGHLAND PASS FAIRBURN GA 30213				



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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airift
1	KHAN IFTIKHAR 9029 HIGHLAND PKWY FAIRBURN GA 30213				
2	MITCHELL TERRY & PETTIGREW MYKETTA 9031 HIGHLAND PKWY FAIRBURN GA 30213				
3	GRICE LASHAWN D 9035 HIGHLAND PKWY FAIRBURN GA 30213				
4	EDWARDS GLORIA D 9039 HIGHLAND PKWY FAIRBURN GA 30213				
5	MARR NANETTE MARIE 9043 HIGHLAND PKWY FAIRBURN GA 30213				
6	BAZEN KELLY 9047 HIGHLAND PKWY FAIRBURN GA 30213				

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4. Ensure the articles are properly packaged.
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- When the mailing has at least 50 mailpieces or at least 50 pounds, present the form and mailing at a business mail entry unit (BMEU) or USPS-authorized detached mail unit (DMU).

Privately Printed Forms: The Postal Service allows mailers to use USPS-approved privately printed or computer-generated firm sheets that are nearly identical in design elements and color to the USPS-provided PS Form 3665. See DMM 503 for details on the approval process.

The mailer must retain the original written approval granted by the Postal Service as evidence that the privately printed facsimile of PS Form 3665 has been approved by the Postal Service. The Postal Service does not retain records on the facsimile approvals. A mailer using privately prepared forms must periodically verify them against the USPS-provided version and, if necessary, make routine updates and obtain approval of the updated facsimile form.

A mailer using an approved privately printed form and wanting the form sheets postmarked by the Postal Service must present the forms with the articles to be mailed at a Post Office facility. The forms become the mailer's only receipt (the Postal service does not retain a copy).



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

BOHANNON ROAD VENTURE, LLC
3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

TOTAL NO.
of Pieces Listed by Sender

93

TOTAL NO.
of Pieces Received at Post Office™

93

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Postmaster, per (name of receiving employee)



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U.S. POSTAGE PAID
ATLANTA, GA
30309
OCT 03 24
AMOUNT

\$31.85
R2303S104131-47

U.S. POSTAGE PAID
ATLANTA, GA
30309
OCT 03 24
AMOUNT

\$28.60
R2303S104131-47

USPS® Tracking Number
Firm-specific Identifier

1

CLAYTON MINISTRIES INC
444 TODD RD
GREENVILLE GA 30222

2

GEORGIA POWER COMPANY TAX DEPT
BIN 10120
241 RALPH MCGILL BLVD NE
ATLANTA GA 30308-3374

3

HARVEST RAIN CHURCH
INTERNATIONAL INC
P O BOX 1057
FAIRBURN GA 30213

4

BARNETT RONALD W & REBECCA P
115 SOUTHWOOD CT
FAYETTEVILLE GA 30214

5

BOHANNON ROAD LLC
P O BOX 420367
ATLANTA GA 30342

6

SOUTHCREEK IV ATLANTA LLC
1800 WAZEE ST
DENVER CO 80202

Postage

Fee

Special Handling

Parcel Airmail





Certificate of Mailing — Firm (Domestic)

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3343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

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Address
(Name, Street, City, State, and ZIP Code™)

Postage

Fee

Special Handling

Parcel-Airlift

1

COLEMAN BETTY JO
1535 OAKLEY INDUSTRIAL BLVD
FAIRBURN GA 30213

2

DANIELS VERNON
5955 LANDRUM RD
FAIRBURN GA 30213

3

WALKER FABIAN
5960 LANDRUM RD
FAIRBURN GA 30213

4

ALLISON BARBARA A
5965 LANDRUM RD
FAIRBURN GA 30213

5

CARLTON A MARIA
5975 LANDRUM RD
FAIRBURN GA 30213

6

FURR DONNA KAY
P.O. BOX 159
FAIRBURN GA 30213



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender	TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of Receipt.
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Parcel Airtift
BOHANNON ROAD VENTURE, LLC 3343 Peachtree Rd NE, # 1600 Atlanta, GA 30326	Postmaster, per (name of receiving employee)		
1	LAWSON LAFAYETTE & ONIEA 5985 LANDRUM RD FAIRBURN GA 30213		
2	OGHAEKOR EMMANUEL 5994 HORSESHOE LANE FAIRBURN GA 30213		
3	JOHNSON ALVIN W 5995 HORSESHOE LN FAIRBURN GA 30213		
4	TAH 2017 1 BORROWER LLC 1508 BROOKHOLLOW DR SANTA ANA CA 92705		
5	2018 1 IH BORROWER LP 1717 MAIN ST STE 2000 DALLAS TX 75201		
6	AZEEZ LEKE 6002 HORSESHOE LANE FAIRBURN GA 30213		





Certificate of Mailing — Firm (Domestic)

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Firm-specific Identifier

Address
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Postage

Fee

Special Handling

Parcel Airlift

1

COURTOIS CARLINE
P O BOX 142375
FAYETTEVILLE GA 30214

2

EVORA LOIS
4060 HERSCHEL RD
ATLANTA GA 30337

3

WALKER PATRICIA J
6030 HORSESHOE LANE
FAIRBURN GA 30213

4

ARMSTRONG MARY
6031 TROTTERS CIR
FAIRBURN GA 30213

5

FRANK LABRENNNA & MARK
6032 TROTTERS CIR
FAIRBURN GA 30213

6

FRANK LABRENNNA & MARK
6032 TROTTERS CIR
FAIRBURN GA 30213



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Postage

Fee

Special Handling

Parcel Airtax

1
HALPERN AMY B
6036 TROTTERS CIR
FAIRBURN GA 30213

2
BOLLING ANTHONY
6039 TROTTERS CIR
FAIRBURN GA 30213

3
AYANDIRAN YVRODIE JEAN
6040 TROTTERS CIR
FAIRBURN GA 30213

4
NUGENT YVETTE
6043 TROTTERS CIR
FAIRBURN GA 30213

5
BEAUVAIS GREGORY
6044 TROTTERS CIR
FAIRBURN GA 30213-4743

6
SEWELL BELINDA
6060 TROTTERS CIR
FAIRBURN GA 30213



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Postage

Fee

Special Handling

Parcel Airlift

1
MAYS DENITA MARIE
6063 TROTTERS CIR
FAIRBURN GA 30213

2
CHUNG HYE
6064 TROTTERS CIR
FAIRBURN GA 30213

3
BROWNLEE CARMEN
6068 TROTTERS CIR
FAIRBURN GA 30213-4720

4
STOKES IVERY W
6071 TROTTERS CIR
FAIRBURN GA 30213

5
OPENDOOR PROPERTY TRUST I
410 N SCOTTSDALE RD SUITE 1600
TEMPE AZ 85281

6
DUARTE TAMMY
6075 TROTTERS CIR
FAIRBURN GA 30213



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Special Handling

Parcel Airlift

1

OLYMPUS BORROWER LLC

PO BOX 4090

SCOTTSDALE AZ 85261

2

SCOTT AISHA F

6079 TROTTERS CIR

FAIRBURN GA 30213

3

STEWART DAVID

6080 TROTTERS CIR

FAIRBURN GA 30213

4

FYR SFR BORROWER LLC

3505 KOGER BLVD #400

DULUTH GA 30096

5

HIXON MARIA CORAZON M & PURA

CATHERINE M

6087 TROTTERS CIR

FAIRBURN GA 30213

6

FKH SFR PROPCO B HLD LP

1850 PARKWAY PL STE 900

MARIETTA GA 30067



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Firm-specific Identifier

1

WOODARD FRANCINE
6091 TROTTERS CIR
FAIRBURN GA 30213

2

ARCHILLE CHRISTINA
6092 TROTTERS CIR
FAIRBURN GA 30213

3

LAPHAM BRIAN
204 VILLAGE DR
SEALY TX 77474

4

RHODEN NOVLET BECKFORD & VERNEL
6100 TROTTERS CIR
FAIRBURN GA 30213

5

RUFF MARCUS L & SYLVIA L
8090 BOHANNON RD
FAIRBURN GA 30213

6

REYES AGUSTIN
30 LITTLE CREEK DR
SHARPSBURG GA 30277

Postage

Fee

Special Handling

Parcel Airlift



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

Iohannon Road Venture, LLC
 343 Peachtree Rd NE, # 1600
 Atlanta, GA 30326

TOTAL NO.
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USPS® Tracking Number
 Firm-specific Identifier

Address
 (Name, Street, City, State, and ZIP Code™)

Postage

Fee

Special Handling

Parcel Airlift

1

BENTON CATHERINE
 3441 MONICA LN SW
 CONYERS GA 30094

2

BENTON RICHARD L
 8125 BOHANNON RD
 FAIRBURN GA 30213

3

DICKSON BRIAN
 8155 BOHANNON DR
 FAIRBURN GA 30213

4

GLISSON JONATHAN WILLIAM
 8156 BOHANNON RD
 FAIRBURN GA 30213

5

ALTO ASSET COMPANY 1 LLC
 5001 PLAZA ON THE LK STE 200
 AUSTIN TX 78746

6

SAFO JULIET O
 8203 CHAMPION TRL
 FAIRBURN GA 30213



Certificate of Mailing — Firm (Domestic)

Name and Address of Sender

Johannon Road Venture, LLC
343 Peachtree Rd NE, # 1600
Atlanta, GA 30326

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USPS® Tracking Number
Firm-specific Identifier

1

JEAN BAPTISTE CHANTAL & LESPINASSE

CARLA REGINE

8206 CHAMPION TRL

FAIRBURN GA 30213

2

GERMAIN RUTH

8207 CHAMPION TRL

FAIRBURN GA 30213

3

CHAPMAN TYLER J

8211 CHAMPION TRL

FAIRBURN GA 30213

4

PADDI PATRICIA ABBAN

2108 SCOTLAND ST

VIRGINIA BEACH VA 23456-5790

5

MNSF II ACQUISITIONS LLC

6836 MORRISON BLVD STE 320

CHARLOTTE NC 28211

6

WILLIAMS GENEICE

8219 CHAMPION TRL

FAIRBURN GA 30213

USPS® Tracking Number Firm-specific Identifier	Address (Name Street City State and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
1	JEAN BAPTISTE CHANTAL & LESPINASSE CARLA REGINE 8206 CHAMPION TRL FAIRBURN GA 30213				
2	GERMAIN RUTH 8207 CHAMPION TRL FAIRBURN GA 30213				
3	CHAPMAN TYLER J 8211 CHAMPION TRL FAIRBURN GA 30213				
4	PADDI PATRICIA ABBAN 2108 SCOTLAND ST VIRGINIA BEACH VA 23456-5790				
5	MNSF II ACQUISITIONS LLC 6836 MORRISON BLVD STE 320 CHARLOTTE NC 28211				
6	WILLIAMS GENEICE 8219 CHAMPION TRL FAIRBURN GA 30213				



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Fee

Special Handling

Parcel Airlift

1

RS RENTAL II LLC
1955 VAL VISTA DR SUITE 126
MESA AZ 85204

2

SAFARI ONE ASSET COMPANY LLC
5001 PLAZA ON THE LAKE STE 200
AUSTIN TX 78746

3

GARCIA IGOR
5027 MERIDEN DR
HOUSTON TX 77084-7231

4

REYNOLDS LAURINDA
9230 CHAMPION TRL
FAIRBURN GA 30213

5

LAMAR VERONICA M GANNY
8231 CHAMPION TRL
FAIRBURN GA 30213

6

MATEEN EUGENE A
8234 CHAMPION TRL
FAIRBURN GA 30213



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Postage

Fee

Special Handling

Parcel Airlift

1

EKEOMA GODSWILL
8238 CHAMPION TRL
FAIRBURN GA 30213

2

ANDERSON MARSHA
8242 CHAMPION TRL
FAIRBURN GA 30213

3

SHEALEY TRACIE
8250 CHAMPION TRL
FAIRBURN GA 30213

4

PATRICK SHIVANANADA
8259 CHAMPION TRL
FAIRBURN GA 30213

5

GRAHAM NORA
8262 CHAMPION TRL
FAIRBURN GA 30213

6

MANGHAM CHARMAINE RYAN
8266 CHAMPION TRL
FAIRBURN GA 30213



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Postage

Fee

Special Handling

Parcel Airlift

1

WRIGHT YOLANDA A
8267 CHAMPION TRL
FAIRBURN GA 30213

2

HILLIARD JOHN & CILOT
8270 CHAMPION TRL
FAIRBURN GA 30349

3

WEATHERLY CARLE ANTONIO
8271 CHAMPION TRL
FAIRBURN GA 30213

4

FAYETTE LAMP POST LLC
3068 FRAZIER WALK
DECATUR GA 30033-1853

5

ROLAND RITA Y & ATKINSON TINA
8278 CHAMPIONS TRL
FAIRBURN GA 30213

6

BRUTUS HENRY C & MIREILLE
8282 CHAMPION TRL
FAIRBURN GA 30213



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Postage

Fee

Special Handling

Parcel Airlift

1

WARD LASHUNDA
8286 CHAMPION TRL
FAIRBURN GA 30213

2

LASSITER GUY W & PHYLLIS M
8355 BOHANNON RD
FAIRBURN GA 30213

3

HOOD WALTER E
8365 BOHANNON RD
FAIRBURN GA 30213

4

GODBEY RONALD D & GODBEY PEGGY E
8370 BOHANNON RD
FAIRBURN GA 30213

5

SHINSTINE EDWARD & BOTTLE ROCKET
ENTERPRISES LLC
8385 BOHANNON DR
FAIRBURN GA 30213

6

RUBIO ESAU
2492 OLD NORCROSS RD
TUCKER GA 30084



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USPS® Tracking Number
Firm-specific Identifier

1

CITY OF FAIRBURN
P O BOX 145
FAIRBURN GA 30213

2

HARVEST RAIN CHURCH
INTERNATIONAL INC
51 SENOIA RD
FAIRBURN GA 30213

3

ABIKOYE OLABISI
6035 TROTTERS CIR
FAIRBURN GA 30213

4

5

6

Postage

Fee

Special Handling

Parcel Airlift

VIA US MAIL

NOTICE TO PROPERTY OWNERS OF PUBLIC PARTICIPATION MEETING

Dear Fairburn Neighbor:

Bohannon Road Venture, LLC (the "Petitioner") is pleased to inform you of a proposed amendment to the zoning and future land use plan of property located to the west side of Bohannon Road, just south of Oakley Industrial Boulevard (the "Property"). The Petitioner has filed for amendments to the zoning and future land use plan of the Property to accommodate the development plans for a Digital Technology Center under a zoning of M-1 Light Industrial with a special land use permit for data center under the City of Fairburn code.

An Official Community Meeting is being held in accordance with the Public Participation Program requirements in the City of Fairburn, prior to the Public Hearing on this rezoning petition. The purpose of the meeting is to discuss the rezoning proposal with interested nearby property owners and organizations. The Fairburn GIS records indicate that you are either a representative of a registered neighborhood organization, or an owner of property or properties, that adjoin or are located within or proximate to the specified radius from the subject Property.

You are not required to attend this meeting, but your participation is welcomed and appreciated. An Official Community Meeting will be held in accordance with guidance provided by the Fairburn Planning Design & Development Department. We invite you to attend the meeting at the following date, time, and address:

Thursday, November 14th, 2024
6:30 PM
Holiday Inn Express
Conference Room
7905 Senoia Rd
Fairburn, GA 30213

If you expect you will be unable to attend the meeting and would like additional information, please contact Henry Bailey at hbailey@mmmlaw.com or call 404-364-3198 and alternative arrangements can be made for you to receive the information.

Sincerely,

Bohannon Road Venture, LLC

VIA US MAIL

NOTICE TO PROPERTY OWNERS OF PUBLIC PARTICIPATION MEETING

Dear Fairburn Neighbor:

Bohannon Road Venture, LLC (the "Petitioner") is pleased to inform you of a proposed amendment to the zoning and future land use plan of property located to the west side of Bohannon Road, just south of Oakley Industrial Boulevard (the "Property"). The Petitioner has filed for amendments to the zoning and future land use plan of the Property to accommodate the development plans for a Digital Technology Center under a zoning of M-1 Light Industrial with a special land use permit for data center under the City of Fairburn code.

An Official Community Meeting is being held in accordance with the Public Participation Program requirements in the City of Fairburn, prior to the Public Hearing on this rezoning petition. The purpose of the meeting is to discuss the rezoning proposal with interested nearby property owners and organizations. The Fairburn GIS records indicate that you are either a representative of a registered neighborhood organization, or an owner of property or properties, that adjoin or are located within or proximate to the specified radius from the subject Property.

You are not required to attend this meeting, but your participation is welcomed and appreciated. An Official Community Meeting will be held in accordance with guidance provided by the Fairburn Planning Design & Development Department. We invite you to attend the meeting at the following date, time, and address:

Wednesday, November 13th, 2024

6:30 PM

Holiday Inn Express

Conference Room

7905 Senoia Rd

Fairburn, GA 30213

If you expect you will be unable to attend the meeting and would like additional information, please contact Henry Bailey at hbailey@mmmlaw.com or call 404-364-3198 and alternative arrangements can be made for you to receive the information.

Sincerely,

Bohannon Road Venture, LLC

September 30, 2024

VIA US MAIL

NOTICE TO PROPERTY OWNERS OF PUBLIC PARTICIPATION MEETING

Dear Fairburn Neighbor:

Bohannon Road Venture, LLC (the "Petitioner") is pleased to inform you of a proposed amendment to the zoning of property located to the west side of Bohannon Road, just south of Oakley Industrial Boulevard (the "Property"). The Petitioner has filed for a zoning amendment from the existing AG-1 zoning district to accommodate the development plans for a Digital Technology Center under a zoning of M-1 Light Industrial with a special land use permit for data center under the City of Fairburn code.

An Official Community Meeting is being held in accordance with the Public Participation Program requirements in the City of Fairburn, prior to the Public Hearing on this rezoning petition. The purpose of the meeting is to discuss the rezoning proposal with interested nearby property owners and organizations. The Fairburn GIS records indicate that you are either a representative of a registered neighborhood organization, or an owner of property or properties, that adjoin or are located within or proximate to the specified radius from the subject Property.

You are not required to attend this meeting, but your participation is welcomed and appreciated. An Official Community Meeting will be held in accordance with guidance provided by the Fairburn Planning Design & Development Department. We invite you to attend the meeting at the following date, time, and address:

Wednesday, October 16th, 2024
6:30 PM
Holiday Inn Express
Conference Room
7905 Senoia Rd
Fairburn, GA 30213

If you expect you will be unable to attend the meeting and would like additional information, please contact Henry Bailey at hbailey@mmmlaw.com or call 404-364-3198 and alternative arrangements can be made for you to receive the information.

Sincerely,

Bohannon Road Venture, LLC

Sign-In Sheet 10/16/2024

Name	Phone Number	Email	Address
KERRI WARE	404-889-4001		5013 MEADOW TRACE FAIRBURN, GA 30209
ELLEN SMITH			3993 MEADOW GLEN WAY
GENIE TRIPP	770-969-3607		Fairburn, GA

Sign-In Sheet 10/16/2024

Name	Phone Number	Email	Address
Helen Samuels	770-681-9164		Eastmore Pass
John Kipp	770-919-3607		Fairburn

September 30, 2024

VIA US MAIL

NOTICE TO PROPERTY OWNERS OF PUBLIC PARTICIPATION MEETING

Dear Fairburn Neighbor:

Bohannon Road Venture, LLC (the "Petitioner") is pleased to inform you of a proposed amendment to the zoning of property located to the west side of Bohannon Road, just south of Oakley Industrial Boulevard (the "Property"). The Petitioner has filed for a zoning amendment from the existing AG-1 zoning district to accommodate the development plans for a Digital Technology Center under a zoning of M-1 Light Industrial with a special land use permit for data center under the City of Fairburn code.

An Official Community Meeting is being held in accordance with the Public Participation Program requirements in the City of Fairburn, prior to the Public Hearing on this rezoning petition. The purpose of the meeting is to discuss the rezoning proposal with interested nearby property owners and organizations. The Fairburn GIS records indicate that you are either a representative of a registered neighborhood organization, or an owner of property or properties, that adjoin or are located within or proximate to the specified radius from the subject Property.

You are not required to attend this meeting, but your participation is welcomed and appreciated. An Official Community Meeting will be held in accordance with guidance provided by the Fairburn Planning Design & Development Department. We invite you to attend the meeting at the following date, time, and address:

Thursday, October 17th, 2024
6:30 PM
Holiday Inn Express
Conference Room
7905 Senoia Rd
Fairburn, GA 30213

If you expect you will be unable to attend the meeting and would like additional information, please contact Henry Bailey at hbailey@mmmlaw.com or call 404-364-3198 and alternative arrangements can be made for you to receive the information.

Sincerely,

Bohannon Road Venture, LLC

10/17/24
Sign-In Sheet

Name	Phone Number	Email	Address
Marsha Anderson	—	—	Cobblestone Glen
Monica Mills			Cobblestone Glen
Onie Lawson			Landrum Road
Lafayette Lawson			Landrum Road



CITY OF ATLANTA

ANDRE DICKENS
MAYOR

651 FOURTEENTH STREET
ATLANTA, GEORGIA 30318
OFFICE . 404-982-1487
FAX . 404-982-1400

DEPARTMENT OF
WATERSHED MANAGEMENT
MIKITA BROWNING
COMMISSIONER

Date: 3/6/24

The following report is on FIRE HYDRANT and PRESSURE TEST results.
Done by an Authorized Representative of The City of Atlanta.

Test location: 8145 Bohannon Road

Plat card # 5419

Test Hydrant # 19852 / H021988
Flow Hydrant # 19854 / H022720

Static: 80

Residual: 68

Pitot: 60

Flow: 1300 gpm

Comments: Flowed 2.5 inch nozzle 12 inch main 12:25 p.m. 1 min.

Requested by: Paulson Mitchell
Contact: Bernard Shelton

Phone: 770-650-7684

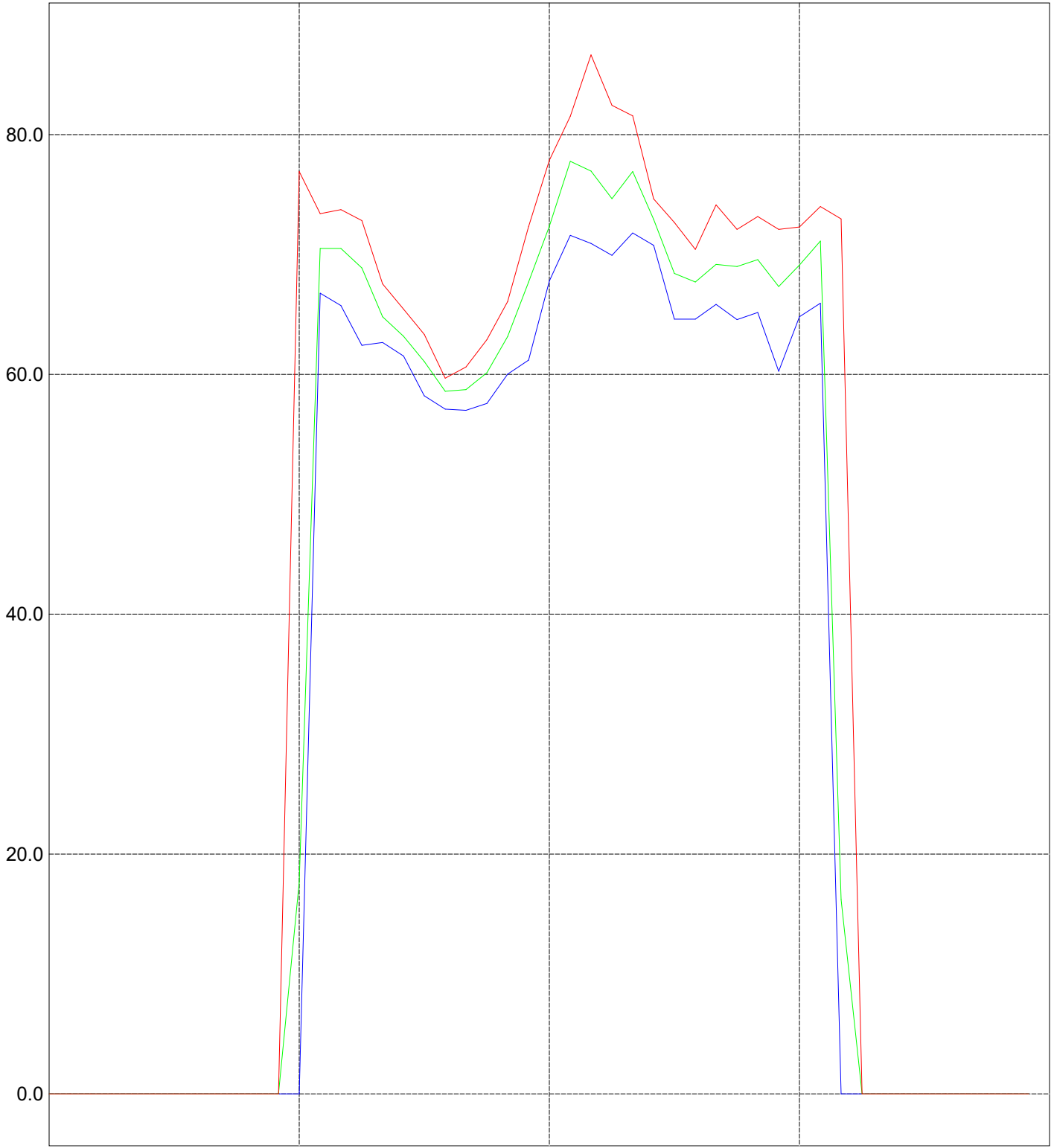
City of Atlanta-Watershed Management

Representative:

Emanuel Toles 678-878-5192

etoles@atlantaga.gov

203350 Pressure (PSI)



12:00:00 PM
3/6/2024

12:00:00 AM
3/7/2024

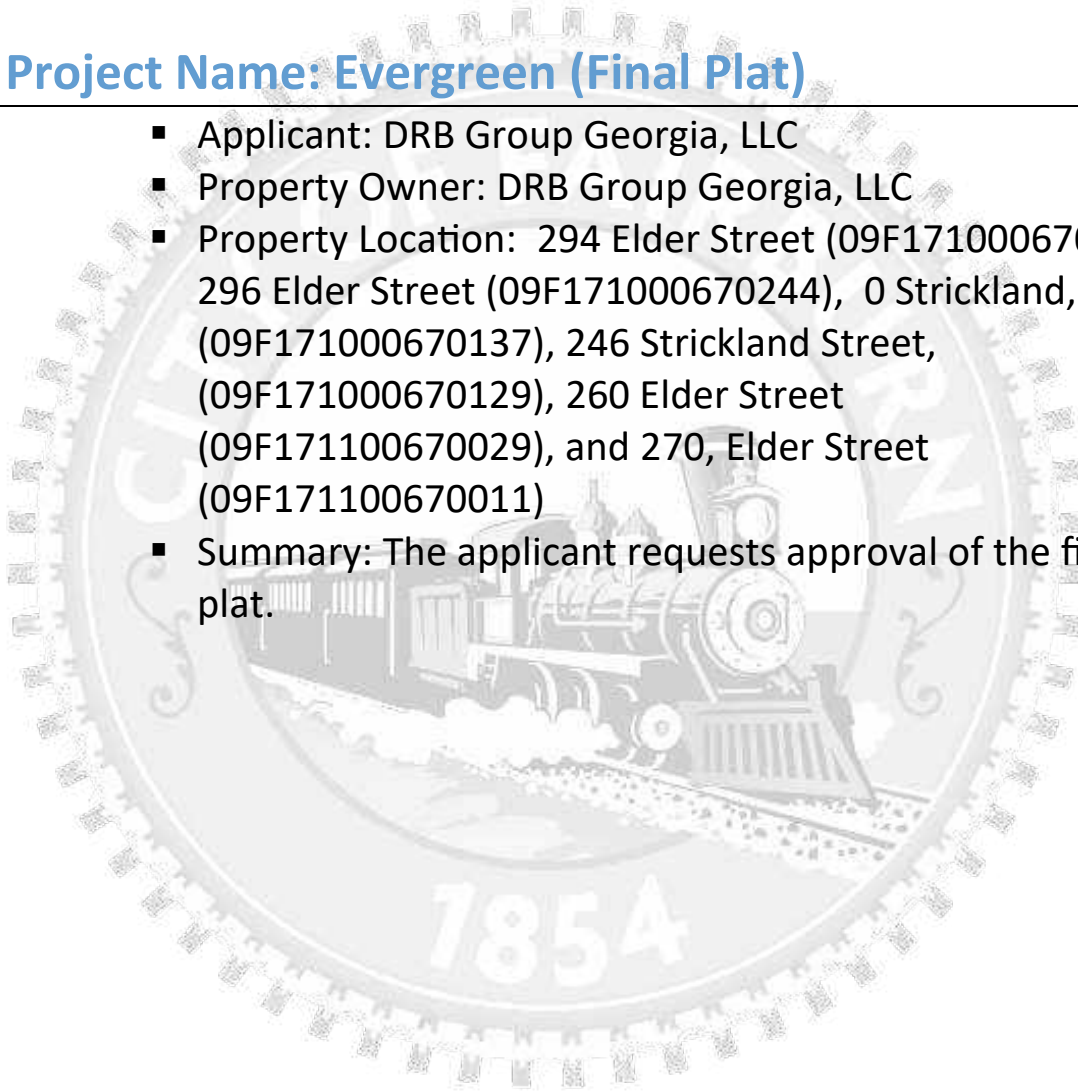
12:00:00 PM
3/7/2024

Channel Plot 1:

	Time	203350 Pressure Min	203350 Pressure Avg	203350 Pressure Max
1	3/6/2024 12:00:00 AM	0.0	0.0	0.0
2	3/6/2024 1:00:00 AM	0.0	0.0	0.0
3	3/6/2024 2:00:00 AM	0.0	0.0	0.0
4	3/6/2024 3:00:00 AM	0.0	0.0	0.0
5	3/6/2024 4:00:00 AM	0.0	0.0	0.0
6	3/6/2024 5:00:00 AM	0.0	0.0	0.0
7	3/6/2024 6:00:00 AM	0.0	0.0	0.0
8	3/6/2024 7:00:00 AM	0.0	0.0	0.0
9	3/6/2024 8:00:00 AM	0.0	0.0	0.0
10	3/6/2024 9:00:00 AM	0.0	0.0	0.0
11	3/6/2024 10:00:00 AM	0.0	0.0	0.0
12	3/6/2024 11:00:00 AM	0.0	0.0	0.0
13	3/6/2024 12:00:00 PM	0.0	17.6638	76.9231
14	3/6/2024 1:00:00 PM	66.7644	70.5031	73.4066
15	3/6/2024 2:00:00 PM	65.7387	70.4957	73.7485
16	3/6/2024 3:00:00 PM	62.4176	68.884	72.8205
17	3/6/2024 4:00:00 PM	62.6618	64.8059	67.5458
18	3/6/2024 5:00:00 PM	61.5385	63.1705	65.4457
19	3/6/2024 6:00:00 PM	58.2173	61.0655	63.3455
20	3/6/2024 7:00:00 PM	57.094	58.5918	59.6825
21	3/6/2024 8:00:00 PM	56.9963	58.7342	60.6105
22	3/6/2024 9:00:00 PM	57.5824	60.1457	62.906
23	3/6/2024 10:00:00 PM	60.0244	63.164	66.0806
24	3/6/2024 11:00:00 PM	61.1966	67.7053	72.3321
25	3/7/2024 12:00:00 AM	67.79	72.346	77.851
26	3/7/2024 1:00:00 AM	71.5995	77.7582	81.514
27	3/7/2024 2:00:00 AM	70.9157	76.9638	86.6423
28	3/7/2024 3:00:00 AM	69.9389	74.6569	82.442
29	3/7/2024 4:00:00 AM	71.7949	76.9157	81.5629
30	3/7/2024 5:00:00 AM	70.7692	72.9337	74.6276
31	3/7/2024 6:00:00 AM	64.6154	68.4143	72.674
32	3/7/2024 7:00:00 AM	64.6154	67.7029	70.4274
33	3/7/2024 8:00:00 AM	65.8364	69.1868	74.1392
34	3/7/2024 9:00:00 AM	64.5665	68.9955	72.0879
35	3/7/2024 10:00:00 AM	65.1526	69.5637	73.1624
36	3/7/2024 11:00:00 AM	60.2686	67.3317	72.0879
37	3/7/2024 12:00:00 PM	64.8107	69.1111	72.2833
38	3/7/2024 1:00:00 PM	65.9341	71.1184	73.9927
39	3/7/2024 2:00:00 PM	0.0	16.1978	72.967
40	3/7/2024 3:00:00 PM	0.0	0.0	0.0
41	3/7/2024 4:00:00 PM	0.0	0.0	0.0
42	3/7/2024 5:00:00 PM	0.0	0.0	0.0
43	3/7/2024 6:00:00 PM	0.0	0.0	0.0
44	3/7/2024 7:00:00 PM	0.0	0.0	0.0
45	3/7/2024 8:00:00 PM	0.0	0.0	0.0
46	3/7/2024 9:00:00 PM	0.0	0.0	0.0
47	3/7/2024 10:00:00 PM	0.0	0.0	0.0
48	3/7/2024 11:00:00 PM	0.0	0.0	0.0

2. Project Name: Evergreen (Final Plat)

- Applicant: DRB Group Georgia, LLC
- Property Owner: DRB Group Georgia, LLC
- Property Location: 294 Elder Street (09F171000670178), 296 Elder Street (09F171000670244), 0 Strickland, (09F171000670137), 246 Strickland Street, (09F171000670129), 260 Elder Street (09F171100670029), and 270, Elder Street (09F171100670011)
- Summary: The applicant requests approval of the final plat.





CITY OF FAIRBURN

Planning & Zoning Department

Plat/Plan Review Form

PROJECT INFORMATION

Project Name:

Address/Location of Project:

Number of Lots:

Size of the Project:

Tax Parcels:

Narrative/ Description for use of property/project (attach additional pages as necessary to provide greater detail):

Summary: The applicant requests approval of the final plat.

CONTACT INFORMATION

Company Name:

Contact Person:

Mailing Address:

Phone: Fax:

Email Address:

UTILITY SERVICE PROVIDERS

Water:

Sewer:

Electric:

Gas:

Cable:

Other:

Final Plat

1st Submittal \$300 + \$3/lot

THIS PLAT IS SUBJECT TO THE COVENANTS SET FORTH IN THE SEPARATE DOCUMENT(S) ATTACHED HERETO DATED 8/2/2024, RECORDED IN DEED BOOK 68032 PAGES 497-548 WHICH HEREBY BECOME(S) A PART OF THE PLAT.

ALL OPEN SPACE / GREEN SPACE, INCLUDING THE AMENITIES AND STORMWATER MANAGEMENT AREA, SHOWN ON THE EVERGREEN FINAL PLAT AND NOTED AS OPEN SPACE A, B, C, D, E, F, G AND H WILL BE DEDICATED TO THE HOA FOR EVERGREEN SUBDIVISION, RECORDED IN DEED BOOK 68411 PAGES 568-576.

FINAL PLAT FOR:
EVERGREEN
LAND LOT 67 & 74 - DISTRICT 9F
CITY OF FAIRBURN,
FULTON COUNTY, GEORGIA



SURVEY NOTES:

THE FIELD DATA UPON WHICH THIS PLAT IS BASED UPON HAS A CLOSURE PRECISION OF ONE FOOT IN 47,325 FEET, AND AN ANGULAR ERROR OF 2" PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 551,460 FEET BY MAP CHECK.

FIELD INFORMATION FOR THIS SURVEY WAS OBTAINED WITH A 3-SECOND LEICA TS16 TOTAL STATION INSTRUMENT.

HORIZONTAL DATUM IS GRID NORTH, GEORGIA STATE PLANE, WEST ZONE AND VERTICAL DATUM IS NAVD83, ESTABLISHED ON-SITE NETWORK GPS OBSERVATIONS WITH A LEICA GS18 GNSS RTK RECEIVER.

THIS SURVEY WAS PERFORMED WITHOUT A TITLE COMMITMENT AND MAY BE SUBJECT TO LEASES, EASEMENTS, AND RESTRICTIONS OF RECORD NOT REFLECTED UPON THIS SURVEY.

FIELDWORK COMPLETED: 7/23/2021.

NO EXISTING NATIONAL GEODETIC SURVEY MONUMENT WAS FOUND TO BE WITHIN 500' OF SUBJECT PROPERTY.

THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCGA) 15-6-67 AS AMENDED BY HB1004 (2016), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.

THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.

ALL PROPERTY CORNERS ARE 5/8" CAPPED REBAR SET UNLESS NOTED OTHERWISE.

ALL OPEN SPACE / GREEN SPACE SHOWN ON THE EVERGREEN FINAL PLAT AND NOTED AS OPEN SPACE A, B, C, D, E, F, G AND H WILL BE DEDICATED TO THE HOA FOR EVERGREEN SUBDIVISION PER THE RECORDED DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR ENCLAVE AT EVERGREEN.

PROJECT DATA:

PROPERTY OWNER:
DRG GROUP - GEORGIA, LLC
55 IVAN ALLEN JR. BLVD - SITE 400
ATLANTA, GA 30308
404-597-7392

SURVEYOR:
W&A ENGINEERING
ATTN: JOHN F. BREWER, III GA P.L.S.#2905
355 ONETA STREET, SUITE D100
ATHENS, GA 30601
706-310-0400

ENGINEER:
ASHFORD ENGINEERS SOUTH, LLC
ATTN: DANIEL R. GREENE, GA. ENG. #27049
350 VIRGINIA HIGHLANDS
FAVETEVILLE, GA 30215
678-817-8958

MONUMENT CONSTRUCTION DRAWINGS:
BRUNSON & COMPANY, LLC
903 BOMBAY LANE
ROSWELL, GA 30076
770-864-1987

AMENITY ITEMS:
A#2 DESIGN GROUP, LLC
14 EASTBROOK BEND SUITE 101
PEACHTREE CITY, GA 30289

SITE ADDRESS: 294 ELDER STREET

SUBJECT PROPERTY IS LOCATED WITHIN AREAS HAVING ZONE DESIGNATIONS OF "ZONE X", DETERMINED TO BE OUTSIDE THE SPECIAL FLOOD HAZARD AREA BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 1312100454F WITH AN EFFECTIVE DATE OF 3/18/2013 FOR COMMUNITY NUMBER 130314, CITY OF FAIRBURN, FULTON COUNTY, GEORGIA.

TOTAL AREA: 18.259 ACRES

TOTAL OPEN SPACE: 5.220 ACRES

EXISTING ZONING: R-4

MINIMUM LOT SIZE: 5,000 S.F.

MINIMUM LOT WIDTH: 50'

FRONT SETBACK:
EXTERIOR: 25'
LOTS: 15' FROM R/W
NOTE: ADJACENT FRONTS WILL BE REQUIRED TO BE STAGGERED 5'.
SIDE SETBACK: 10'
REAR SETBACK: 25'

TAX PARCEL: BEING ALL OF 09F171000670129, 09F171000670137, 09F171000670178 & 09F171000670244

TOTAL LOT COUNT: 73

TOTAL DENSITY: 73 / 18.259 = 4.00 UNITS/ACRE

WATER SUPPLY: CITY OF FAIRBURN

SEWERAGE DISPOSAL: CITY OF FAIRBURN

STREET STANDARDS:
STREET WIDTH:
STREETS: 28' (BC-BC)
CUL-DE-SAC RADI: 40'
R/W WIDTH: 50'

TOTAL STREET LENGTH: 1,447 L.F.
ALPINE ROAD: 610 L.F.
CEDAR DRIVE: 1040 L.F.
CAMELLIA DRIVE: 610 L.F.
REDWOOD ROAD: 169 L.F.
HYDRANGEA CIRCLE: 500 L.F.

CERTIFICATION OF DEDICATION:
STATE OF GEORGIA
COUNTY OF FULTON

THE OWNER OF THE LAND SHOWN ON THIS PLAT ACKNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, AND FOR VALUE RECEIVED, THE SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED, DOES HEREBY CONVEY IN FEE SIMPLE TO THE CITY OF FAIRBURN, GEORGIA, AND FURTHER DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS AND RIGHTS-OF-WAY, PEDESTRIAN WALKS, WATERCOURSES, DRAINS, EASEMENTS, GREENBELTS AND PUBLIC PLACES SHOWN HEREON, EXCEPT THOSE EASEMENTS DESIGNATED ON THIS PLAT AS OTHER UTILITY COMPANY EASEMENTS, AND EXCEPT THOSE STREETS SPECIFICALLY DESIGNATED ON THIS PLAT AS PRIVATE STREETS.

IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT AND OTHER VALUABLE CONSIDERATIONS, THE OWNERS DO HEREBY AGREE TO HOLD THE CITY OF FAIRBURN, GEORGIA, HARMLESS FOR THE PERIOD SPECIFIED IN SECTION 77-156(1) FROM ANY AND ALL MONETARY LIABILITIES WHICH MAY ARISE FROM ANY AND ALL CLAIMS, DAMAGES, OR DEMANDS ARISING ON ACCOUNT OF THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS OF THE PROPERTY SHOWN HEREON, TO INCLUDE BUT NOT LIMITED TO, THE ROADS, STREETS, FILLS, EMBANKMENTS, DITCHES, CROSS DRAINS, CULVERTS AND BRIDGES WITHIN THE PROPOSED RIGHT-OF-WAY SHOWN, RESULTING FROM ANY AND ALL CAUSES OTHER THAN BY AN ACT OF THE CITY OF FAIRBURN, GEORGIA.

AND FURTHER, THE OWNER WARRANTS THAT HE OWNS FEE SIMPLE TITLE TO THE PROPERTY SHOWN HEREON AND AGREES THAT THE CITY OF FAIRBURN SHALL NOT BE LIABLE TO THE UNDERSIGNED OR SUBSEQUENT OWNERS IN TITLE FOR THE PERIOD SPECIFIED IN SECTION 77-158(1) FOR ANY CLAIM OF DAMAGES RESULTING FROM NEGLIGENCE IN EXERCISING ENGINEERING TECHNIQUES AND DUE CAUTION IN THE CONSTRUCTION OF CROSS DRAINS EXTENSION, DRAINS, STRUCTURES OR BUILDINGS, THE CHANGING OF COURSES OF STREAMS AND RIVERS, FLOODING FROM NATURAL CREEKS AND RIVERS AND ANY OTHER MATTER WHATSOEVER ON PRIVATE PROPERTY. ANY AND ALL MONETARY LIABILITY OCCURRING UNDER THIS PARAGRAPH SHALL BE THE LIABILITY OF THE OWNER. I FURTHER WARRANT THAT I HAVE THE RIGHT TO CONVEY SAID LAND ACCORDING TO THIS PLAT AND DO HEREBY BIND MYSELF AND THE OWNERS SUBSEQUENT IN TITLE TO DEFEND THE COVENANTS AND AGREEMENTS SET OUT.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET BY HAND AND AFFIXED MY SEAL THIS DAY OF 18 November 2024

OWNER/DEVELOPER: [Signature] TITLE: Atlanta Division President DATE: 11/18/2024

Notary Public: Michelle C Powell, Notary Public, Pike County, GEORGIA, My Commission Expires 08/22/2026

MAINTENANCE GUARANTEE:

THE UNDERSIGNED, ITS SUCCESSORS AND ASSIGNS, HEREBY WARRANTS AND GUARANTEES TO THE CITY OF FAIRBURN THE FULL AND COMPLETE MAINTENANCE OF A CERTAIN IMPROVEMENT KNOWN AS EVERGREEN SUBDIVISION AND MORE PARTICULARLY SHOWN IN PLAT BOOK _____ PAGE(S) _____ OF THE FULTON COUNTY RECORDS.

THIS WARRANTY AND GUARANTEE IS MADE IN ACCORDANCE WITH THE CITY OF FAIRBURN LAND SUBDIVISION REGULATIONS AND DEVELOPMENT STANDARD SPECIFICATIONS. THIS GUARANTEE INCLUDES NOT ONLY PAVING BUT ALSO ALL OTHER APPURTENANT STRUCTURES AND AMENITIES LYING WITHIN THE RIGHT-OF-WAY OF SAID ROAD AND IN THE BUFFER AREAS, INCLUDING BUT NOT LIMITED TO ALL CURBING, DRAINAGE PIPES, CULVERTS, CATCHBASINS, DRAINAGE DITCHES, AND PEDESTRIAN WALKS. UTILITIES OWNED AND OPERATED BY A GOVERNMENTAL BODY OR PUBLIC UTILITY COMPANY SHALL BE THE RESPONSIBILITY OF SAID GOVERNMENTAL BODY OR PUBLIC UTILITY COMPANY AND NOT THE DEVELOPER.

THE DEVELOPER SHALL CORRECT AND REPAIR OR CAUSE TO BE CORRECTED AND REPAIRED ALL DAMAGES TO SAID IMPROVEMENTS RESULTING FROM ANY CAUSE WHATSOEVER IN THE EVENT THE DEVELOPER FAILS TO CORRECT ANY DAMAGES WITHIN 30 CALENDAR DAYS AFTER WRITTEN NOTICE THEREOF, THEN SAID DAMAGES MAY BE CORRECTED BY THE CITY AND ALL COSTS AND CHARGES BILLED TO AND PAID BY THE DEVELOPER; BUT THIS REMEDY SHALL NOT LIMIT THE CITY, AND IT SHALL ALSO HAVE ANY REMEDIES AVAILABLE TO IT AS APPROVED BY LAW.

THE TERMS OF THIS AGREEMENT SHALL BE AS SPECIFIED IN SECTION 77-158(1). AFTER THE TERMINATION OF THE AGREEMENT, THE CITY SHALL BE RESPONSIBLE TO THE CITIZENS OF THE CITY FOR THE MAINTENANCE OF SAID IMPROVEMENTS AS PROVIDED BY LAW. NO ROADWAY AND ASSOCIATED RIGHT-OF-WAY SHALL BE ACCEPTED BY THE CITY FOR MAINTENANCE UNLESS IT SCORES 90 OR ABOVE ON THE CITY'S ASPHALT PAVEMENT RATING FORM; PROVIDED, HOWEVER, THAT ANY DAMAGES THAT OCCURRED PRIOR TO THE END OF THE AGREEMENT AS SPECIFIED IN SECTION 77-158(1) THAT STILL ARE UNREPAIRED AT THE TERMINATION OF THE STATED PERIOD SHALL REMAIN THE RESPONSIBILITY OF THE DEVELOPER. WRITTEN NOTICE OF DAMAGES MUST BE GIVEN PRIOR TO THE TIME OF THE TERMINATION OF THE AGREEMENT.

IN WITNESS WHEREOF, THE DEVELOPER HAS CAUSED THIS AGREEMENT TO BE EXECUTED BY ITS DULY AUTHORIZED OFFICERS THIS 17 DAY OF November, 2024.

OWNER/DEVELOPER: [Signature] TITLE: Atlanta Division President DATE: 11/18/2024

Notary Public: Michelle C Powell, Notary Public, Pike County, GEORGIA, My Commission Expires 08/22/2026

APPROVAL CERTIFICATION:
THIS FINAL PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE APPROVED CONCEPT PLAT, THE APPROVED PRELIMINARY PLAT, THE APPROVED CONSTRUCTION PLANS, AND THE OTHER DEVELOPMENT CODES AND ORDINANCES OF THE CITY, AND HAS BEEN APPROVED BY THE CITY FOR RECORDING IN THE OFFICE OF THE CLERK OF THE SUPERIOR COURT OF FULTON COUNTY.

CITY ENGINEER _____ DATE _____

CITY CLERK _____ DATE _____

MAJOR/CITY ADMINISTRATOR _____ DATE _____

APPROVAL CERTIFICATION:
THIS FINAL PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE APPROVED CONCEPT PLAT, THE APPROVED PRELIMINARY PLAT, THE APPROVED CONSTRUCTION PLANS, AND THE OTHER DEVELOPMENT CODES AND ORDINANCES OF THE CITY, AND HAS BEEN APPROVED BY THE CITY FOR RECORDING IN THE OFFICE OF THE CLERK OF THE SUPERIOR COURT OF FULTON COUNTY.

CITY ENGINEER _____ DATE _____

CITY CLERK _____ DATE _____

MAJOR/CITY ADMINISTRATOR _____ DATE _____

SURVEYOR CERTIFICATION:
IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION, THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR ARE MARKED AS "FUTURE" AND THEIR LOCATION, SIZE, TYPE, AND MATERIAL ARE CORRECTLY SHOWN; THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE GEORGIA PLAT ACT.

BY: [Signature] REGISTERED GEORGIA LAND SURVEYOR

JOHN F. BREWER, III
NAME (PRINTED)

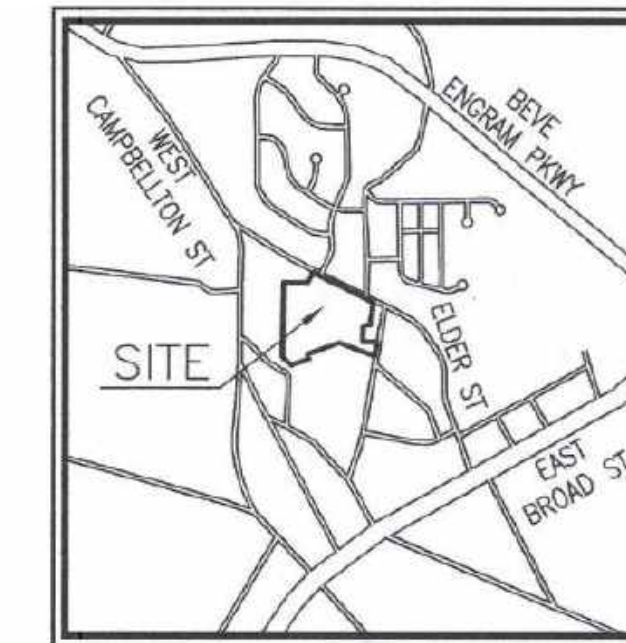
NO. 2905 DATED: 11/18/2024



ENGINEER CERTIFICATION:
I HEREBY CERTIFY THAT THIS SUBMISSION WAS CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION PLANS AND SPECIFICATIONS WHICH WERE APPROVED BY THE CITY ENGINEER, AS WELL AS ANY APPROVED REVISIONS THEREOF, AND THAT ALL APPLICABLE ENGINEERING REQUIREMENTS OF THE LAND SUBDIVISION REGULATIONS AND ZONING ORDINANCE HAVE BEEN FULFILLED, EXCEPT AS NOTED BELOW.

BY: [Signature] SIGNATURE OF ENGINEER

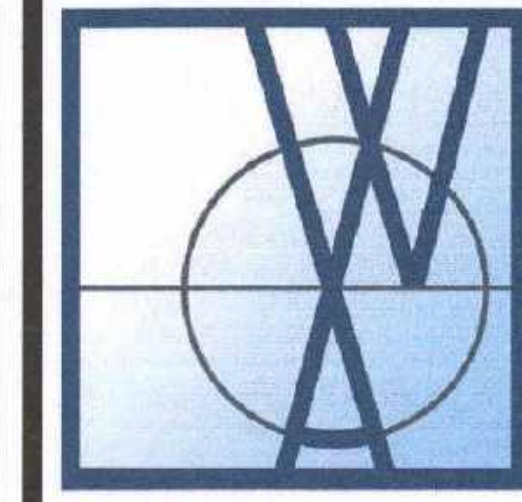
DANIEL R. GREENE DATED: 11/18/2024
NAME (PRINTED)



VICINITY MAP
NOT TO SCALE

LOT TABLE

LOT	SQ. FT.	ACRES
1	5377	0.123
2	5769	0.132
3	5398	0.124
4	5008	0.115
5	6798	0.156
6	6893	0.158
7	6920	0.159
8	6946	0.159
9	6973	0.160
10	6711	0.154
11	5834	0.134
12	5000	0.115
13	5000	0.115
14	5000	0.115
15	5000	0.115
16	5551	0.127
17	6957	0.160
18	5668	0.130
19	5191	0.119
20	5169	0.119
21	5188	0.119
22	5201	0.119
23	5175	0.119
24	5145	0.118
25	7259	0.167
26	7761	0.178
27	7583	0.174
28	5123	0.118
29	5750	0.132
30	5750	0.132
31	6900	0.158
32	6900	0.158
33	5750	0.132
34	5750	0.132
35	6248	0.143
36	5000	0.115
37	5000	0.115
38	5000	0.115
39	5000	0.115
40	5000	0.115
41	5000	0.115
42	5000	0.115
43	5000	0.115
44	5000	0.115
45	5000	0.115
46	5000	0.115
47	5000	0.115
48	5000	0.115
49	5000	0.115
50	5000	0.115
51	5000	0.115
52	5000	0.115
53	5000	0.115
54	5000	0.115
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56	5000	0.115
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58	5000	0.115
59	5000	0.115
60	5000	0.115
61	5000	0.115
62	5000	0.115
63	5000	0.115
64	5000	0.115
65	5000	0.115
66	5000	0.115
67	5000	0.115
68	5000	0.115
69	5000	0.115
70	5000	0.115
71	5000	0.115
72	5000	0.115
73	5093	0.117
OS A	95862	2.201
OS B	11797	0.271
OS C	73186	1.680
OS D	11100	0.255
OS E	29587	0.679
OS F	5863	0.135
OS G	5863	0.135
OS H	5863	0.135



W&A Engineering

CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE
TRAFFIC ENGINEERING - SURVEYING
ECONOMIC DEVELOPMENT

355 Oneta Street, Suite D100
Athens, GA 30601
P: (706) 310-0400 • F: (706) 310-0411
waengineering.com

ALL DRAWINGS SHALL REMAIN THE PROPERTY OF W&A ENGINEERING. THESE INSTRUMENTS OF SERVICE ARE TO BE USED ONLY FOR THE PROJECT SPECIFICALLY IDENTIFIED HEREON. W&A ENGINEERING SHALL BEAT ALL LEGAL RIGHTS TO THE USE OF THE INSTRUMENTS OF SERVICE AND SHALL BEAT ALL LEGAL PROTECTION UNDER STATE AND FEDERAL LAWS.

FINAL PLAT FOR:
EVERGREEN

LAND LOT 67 & 74, DISTRICT 9F
CITY OF FAIRBURN
FULTON COUNTY, GEORGIA

DATE: 5/13/2024

REVISED: 11/7/2024
PER CITY COMMENTS



GA WEST, ZONE
1002 NAD 83



23-0399

NOT TO SCALE

SHEET 1 OF 3

2022-236

Re: REZONING ORDINANCE 2021159
 Property of Rilla Entekin, James Entekin, Elizabeth and Jack Stevens
 294 Elder Street (Parcel ID No.: 09F171000670178),
 296 Elder Street (Parcel ID No.: 09F171000670244),
 0 Strickland (Parcel ID No.: 09F171000670137),
 246 Strickland Street (Parcel ID No.: 09F171000670129),
 260 Elder Street (Parcel ID No.: 09F171000670029) and
 270 Elder Street (Parcel ID No.: 09F171000670011)
 18.226 acres, Land Lot 67
 District 9

STATE OF GEORGIA
 COUNTY OF FULTON

AN ORDINANCE TO REZONE CERTAIN PROPERTY WITHIN THE CITY LIMITS OF THE CITY OF FAIRBURN FROM R-2 (SINGLE-FAMILY RESIDENTIAL) ZONING DISTRICT TO R-4 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT; TO PROVIDE FOR SEVERABILITY; TO PROVIDE AN EFFECTIVE DATE; TO REPEAL CONFLICTING ORDINANCES; AND FOR OTHER PURPOSES

NOW THEREFORE BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF FAIRBURN, GEORGIA, AND IT IS HEREBY ORDAINED BY AUTHORITY OF THE SAME:

Section 1. That the City of Fairburn Zoning Ordinance be amended, and the official maps established in connection therewith be changed so that the property located in the City of Fairburn as indicated on Exhibit "A" to this Ordinance be changed from R-2 (Single-Family Residential) Zoning District to R-4 (Single-Family Residential) Zoning District, subject to the following conditions:

- A. To restrict the use of the subject property as follows:
- Single-family Residential
 - A maximum of 73 single-family residential lots with a density of 4 units per acre whichever is less.
- B. To abide by the following:
- The property shall be developed in conformity with the site plan prepared by Ashford Engineers South, LLC and attached as Exhibit B. Said site plan is conceptual only and must meet or exceed the requirements of the City's ordinances prior to the approval of a Land Disturbance Permit. Any major deviation from this site plan is subject to approval by the City Engineer or designee.

1

- Property maintenance shall be accomplished through a homeowner's association in which membership shall be mandatory. Such maintenance shall encompass all common areas that are not contained within the boundaries of individual lots. A 5% rental cap shall be included in the association by-laws. Such by-laws shall be subject to approval by the City Administrator and shall be recorded with covenants that shall be subject to approval by the City Administrator.
- To the following site development considerations:
 - Development standards for each single-family lot shall be as follows:
 - Building setbacks:
 - Front: 15 feet
 - Side: 10 feet
 - Rear: 25 feet
 - Minimum lot area: 5,000 square feet
 - Minimum heated floor: 1,400 square feet
 - Minimum lot width: 50 feet
 - Amenity package shall include open/greenspace (4.657 acres), picnic area, benches, pergola, walking trails, and a mail kiosk.
 - Facades of the homes shall be constructed with a combination of two or more of the following materials: fiber-cement siding, wood shake, clapboard, brick, and/or stone. The use of vinyl or EIFS (synthetic stucco) is strictly prohibited. At least 25% of the front façades shall consist of at least 25% brick or stone.
 - Two-car garages shall be provided for each single-family house. Upgraded garage doors with architectural elements shall be utilized.
 - Sidewalks on all street frontages shall be a minimum of five feet and shall be constructed to comply with the requirements of the Americans with Disabilities Act (ADA) standards and the City of Fairburn development standard. Five-foot sidewalks shall be provided along both sides of internal streets throughout the development and shall be designed to provide inter-connectivity to amenities areas.
 - Pedestrian-scale street lighting shall be provided along both sides of internal streets throughout the development.
 - All utilities shall be installed underground throughout the development area.
 - Acceleration and deceleration lanes shall be provided at the proposed driveway connection unless a traffic study demonstrates that the total traffic on the existing roadway is less than 2,000 vehicles per day including traffic projected as a result of the proposed development (count of existing traffic must have been made within one year of the development plan submittal date)

2

- Turning lanes may be required to meet projected traffic demand and/or safe operations, as determined by the City Engineer and/or traffic study. When provided, turning lanes shall meet the following criteria:
 - Provide not less than 150 feet of storage length for arterial roadways. Provide not less than 100 feet of storage length for collector roadways.
 - Provide taper lengths of not less than 100 feet.
 - Longer storage and taper lengths may be required when traffic projections indicate they are justified.
 - The Developer shall construct roadway improvements (pavement, signing, striping, curb and gutter, and drainage) along the existing road across the entire property frontage where required, at no cost to the city.
 - The Developer shall install a canopy or understory tree in the front yard of each single-family lot. The front and rear yards of the single-family lots shall be sodded.
- Section 2. That the property shall be developed in compliance with the conditions of approval as stated in this Ordinance. Any conditions hereby approved do not authorize the violation of any district regulations; and
- Section 3. That the official maps referred to on file in the Office of the City Clerk, be changed to conform with the terms of this Ordinance; and
- Section 4. In the event any section, subsection, sentence, clause, or phrase of this Ordinance shall be declared or adjudged invalid or unconstitutional, such adjudication shall in no manner affect the previously existing provisions of the other sections, subsections, sentences, clauses or phrases of this Ordinance, which shall remain in full force and effect as if the section, subsection, sentence, clause or phrase so declared or adjudicated invalid or unconstitutional were not originally a part thereof. The City Council declares that it would have passed the remaining parts of this Ordinance or retained the previously existing Ordinance if it had known that such part of parts hereof would be declared or adjudicated invalid or unconstitutional.
- Section 5. Pursuant to the requirements of the Zoning Procedures Act and the City Zoning Ordinance, a properly advertised public hearing was held not less than 15 nor more than 45 days from the date of publication of notice, and which public hearing was held on the 23rd day of May, 2022; and
- Section 6. This Ordinance shall become effective on the 23rd day of May, 2022.
- Section 7. All Ordinances and parts of Ordinances in conflict with this Ordinance are repealed.

APPROVED this 23rd day of May, 2022, by the Mayor and Council of the City of Fairburn, Georgia.


 Mario Avery, Mayor

3

Exhibit A

LEGAL DESCRIPTION

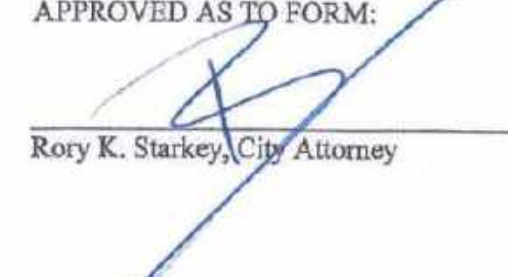
ALL THAT TRACT OR PARCEL OF LAND, LYING AND BEING IN LAND LOT 67 & 74 OF DISTRICT 9F, IN THE CITY OF FAIRBURN, FULTON COUNTY, GEORGIA CONTAINING 18.259 ACRES MORE OR LESS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT AT THE CENTERLINE INTERSECTION OF ELDER STREET (40' R/W) AND STRICKLAND STREET (40' R/W); THENCE GO NORTH 56 DEGREES 32 MINUTES 21 SECONDS WEST, 373.01 FEET TO A 1/2" PIPE FOUND ON THE SOUTHERN R/W OF ELDER STREET (40' R/W) AND THE TRUE POINT OF BEGINNING; THENCE SOUTH 12 DEGREES 24 MINUTES 10 SECONDS WEST, 205.84 FEET TO POINT; THENCE SOUTH 77 DEGREES 30 MINUTES 47 SECONDS EAST, 97.80 FEET TO POINT; THENCE SOUTH 12 DEGREES 13 MINUTES 06 SECONDS WEST, 149.38 FEET TO A POINT; THENCE SOUTH 85 DEGREES 20 MINUTES 58 SECONDS EAST, 66.76 FEET TO A 5/8" REBAR SET; THENCE SOUTH 09 DEGREES 16 MINUTES 23 SECONDS WEST, 100.32 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 11 DEGREES 44 MINUTES 09 SECONDS WEST, 100.22 FEET TO A 5/8" REBAR SET; THENCE SOUTH 88 DEGREES 33 MINUTES 24 SECONDS EAST, 202.27 FEET TO A 5/8" REBAR SET ON THE WESTERN R/W OF STRICKLAND STREET (40' R/W); THENCE ALONG SAID R/W SOUTH 09 DEGREES 04 MINUTES 52 SECONDS WEST, 168.21 FEET TO A 5/8" REBAR SET; THENCE LEAVING SAID R/W NORTH 69 DEGREES 17 MINUTES 54 SECONDS WEST, 475.15 FEET TO AN ANGLE IRON FOUND; THENCE SOUTH 67 DEGREES 42 MINUTES 07 SECONDS WEST, 406.57 FEET TO A 5/8" REBAR SET; THENCE SOUTH 24 DEGREES 55 MINUTES 00 SECONDS EAST, 40.24 FEET TO A 5/8" REBAR SET ON THE EASTERN R/W OF SPRING STREET (30' R/W); THENCE ALONG SAID R/W SOUTH 63 DEGREES 26 MINUTES 12 SECONDS WEST, 29.68 FEET TO A POINT ON THE WESTERN R/W OF SPRING STREET (30' R/W); THENCE SOUTH 63 DEGREES 26 MINUTES 12 SECONDS WEST, 174.00 FEET TO A 5/8" REBAR SET; THENCE NORTH 52 DEGREES 28 MINUTES 21 SECONDS WEST, 182.70 FEET TO A 3" PIPE FOUND; THENCE NORTH 00 DEGREES 21 MINUTES 41 SECONDS EAST, 531.69 FEET TO A 3" PIPE FOUND; THENCE NORTH 01 DEGREES 30 MINUTES 41 SECONDS EAST, 337.17 FEET TO A 1-1/2" PIPE FOUND; THENCE SOUTH 89 DEGREES 20 MINUTES 02 SECONDS EAST, 280.62 FEET TO A 1" PIPE FOUND; THENCE NORTH 26 DEGREES 56 MINUTES 01 SECONDS EAST, 165.97 FEET TO A 1/2" REBAR FOUND ON THE SOUTHERN R/W OF ELDER STREET (40' R/W); THENCE ALONG SAID R/W THE FOLLOWING COURSES AND DISTANCES, SOUTH 63 DEGREES 21 MINUTES 44 SECONDS EAST, 85.91 FEET TO A POINT; THENCE SOUTH 63 DEGREES 13 MINUTES 37 SECONDS EAST, 163.37 FEET TO A POINT; THENCE SOUTH 63 DEGREES 30 MINUTES 56 SECONDS EAST, 351.67 FEET TO A 1/2" PIPE FOUND ON THE SOUTHERN R/W OF ELDER STREET AND THE TRUE POINT OF BEGINNING.

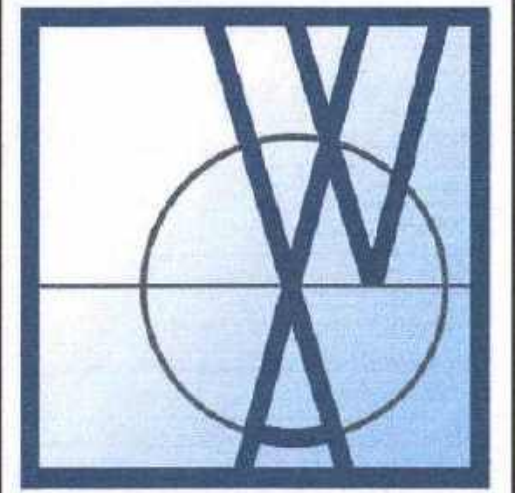
ATTEST:


 Brenda James, City Clerk

APPROVED AS TO FORM:


 Rory K. Starkey, City Attorney

4



W&A
 Engineering

CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE
 TRAFFIC ENGINEERING - SURVEYING
 ECONOMIC DEVELOPMENT

355 Oneata Street, Suite D100
 Athens, GA 30601
 P: (706) 310-0400 • F: (706) 310-0411
 waengineering.com

ALL DRAWINGS SHALL REMAIN THE PROPERTY OF W&A ENGINEERING. THESE INSTRUMENTS OF SERVICE ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT. W&A ENGINEERING SHALL BE LIABLE FOR ALL DAMAGES TO THE USER OF THE INSTRUMENTS OF SERVICE AND SHALL BEAR FULL PROFESSIONAL LIABILITY UNDER ANY APPLICABLE LAW.

FINAL PLAT FOR:
 EVERGREEN

LAND LOT 67 & 74, DISTRICT 9F
 CITY OF FAIRBURN
 FULTON COUNTY, GEORGIA

DATE: 5/13/2024

REVISED: 11/7/2024
 PER CITY COMMENTS



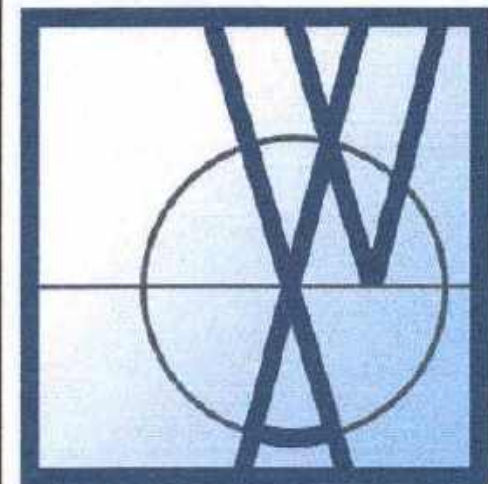
GA WEST, ZONE
 1002 NAD 83



23-0399

NOT TO SCALE

SHEET 2 OF 3



W&A Engineering

CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE
TRAFFIC ENGINEERING - SURVEYING
ECONOMIC DEVELOPMENT

355 Oneida Street, Suite D100
Athens, GA 30601
P: (706) 310-0400 • F: (706) 310-0411
waengineering.com

ALL DRAWINGS SHALL REMAIN THE PROPERTY OF W&A ENGINEERING. THESE INSTRUMENTS OF SERVICE ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OF THESE INSTRUMENTS OF SERVICE FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF W&A ENGINEERING SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO W&A ENGINEERING.

FINAL PLAT FOR:
EVERGREEN
LAND LOT 67 & 74, DISTRICT 9F
CITY OF FAIRBURN
FULTON COUNTY, GEORGIA

DATE: 5/13/2024
REVISED: 11/7/2024
PER CITY COMMENTS



GA WEST, ZONE 1002 NAD 83



23-0399

SCALE 1" = 60'

SHEET 3 OF 3

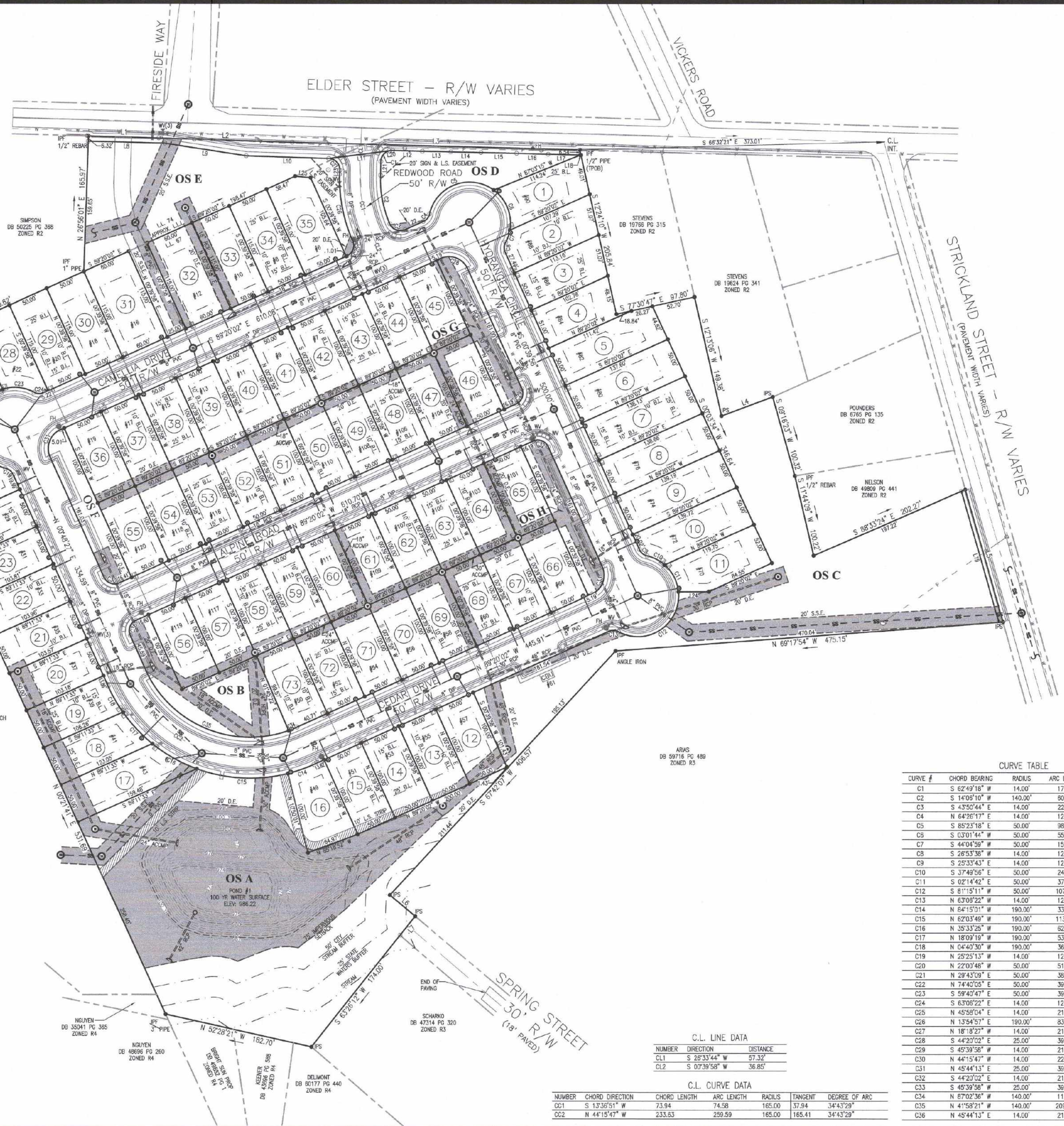
LINE TABLE

Table with 3 columns: LINE #, BEARING, DISTANCE. Lists lines L1 through L25 with their respective bearings and distances.

SURVEY LEGEND table listing symbols for various features like building setback lines, easements, pipes, and markers.

SURVEY NOTES:

THE FIELD DATA UPON WHICH THIS PLAT IS BASED UPON HAS A CLOSURE PRECISION OF ONE FOOT IN 47,325 FEET... FIELD INFORMATION FOR THIS SURVEY WAS OBTAINED WITH A 3-SECOND LEICA TS16 TOTAL STATION INSTRUMENT... HORIZONTAL DATUM IS GRID NORTH, GEORGIA STATE PLANE, WEST ZONE AND VERTICAL DATUM IS NAVD83...

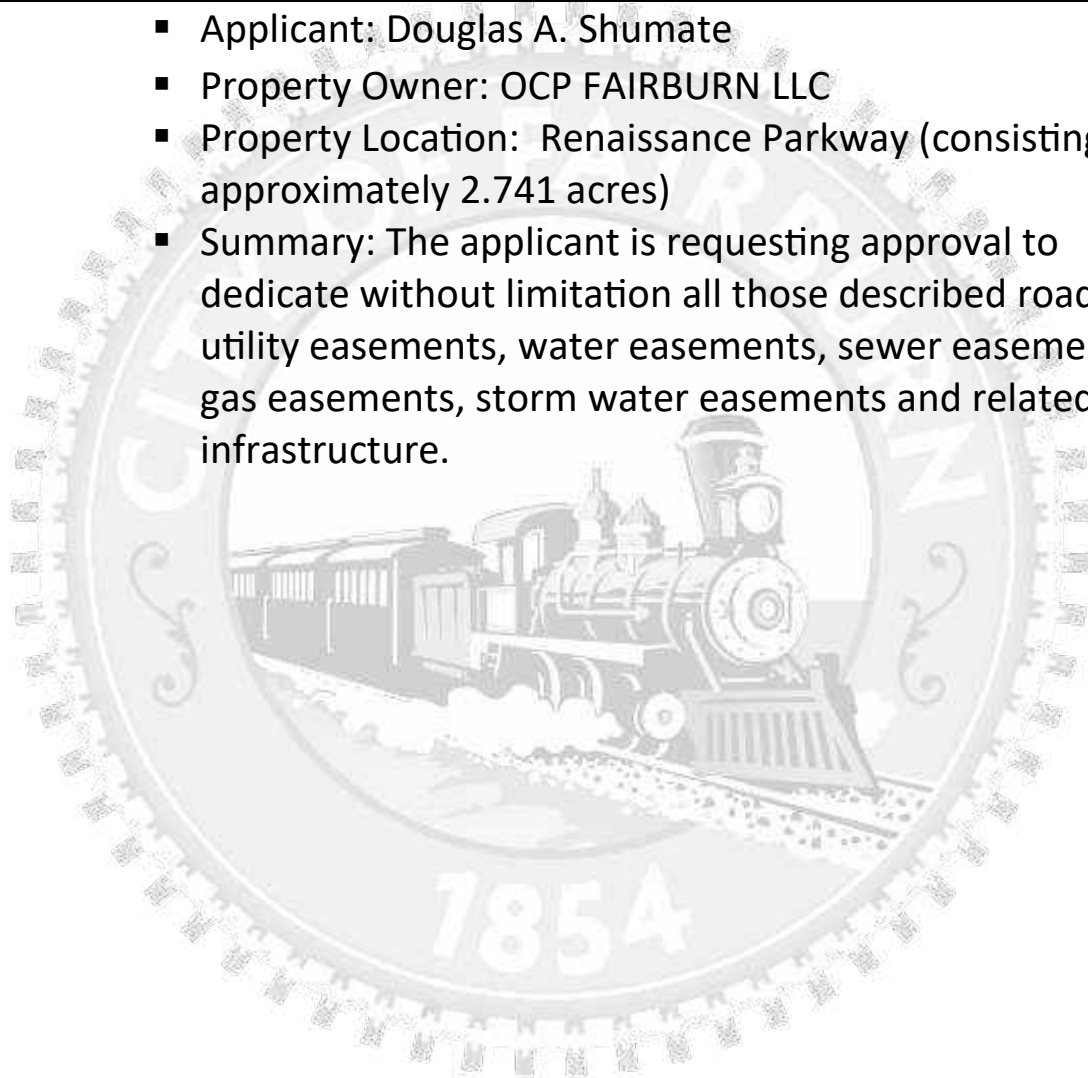


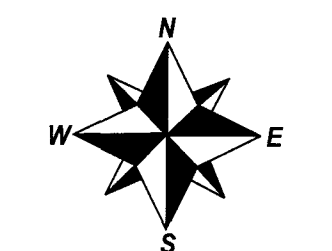
CURVE TABLE and C.L. LINE DATA tables. The curve table lists curve numbers, bearings, radii, arc lengths, and chord lengths. The line data table lists line numbers, directions, and distances.

C.L. CURVE DATA table listing curve numbers, chord directions, chord lengths, arc lengths, radii, tangents, and degrees of arc.

3. Renaissance Parkway (Final Plat/Dedication)

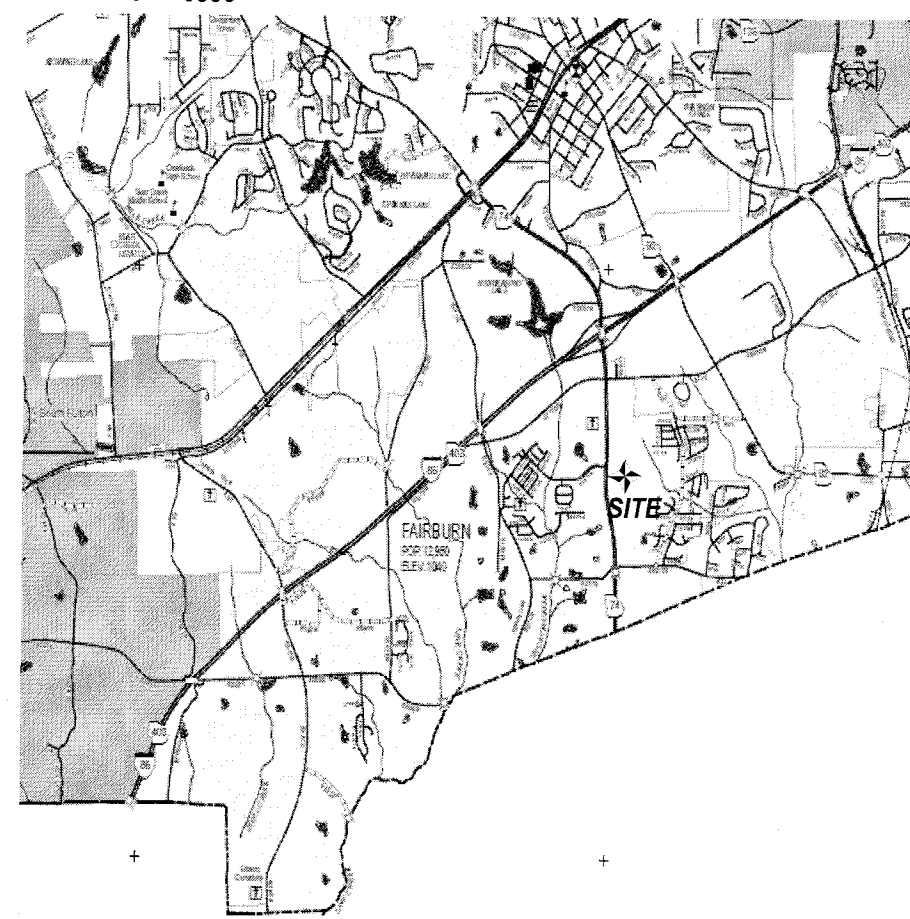
- Applicant: Douglas A. Shumate
- Property Owner: OCP FAIRBURN LLC
- Property Location: Renaissance Parkway (consisting of approximately 2.741 acres)
- Summary: The applicant is requesting approval to dedicate without limitation all those described roads, utility easements, water easements, sewer easements, gas easements, storm water easements and related infrastructure.





BEARING BASIS: GEORGIA STATE PLANE COORDINATES SYSTEM, 1983 NORTH AMERICAN DATUM, GEORGIA, WEST ZONE

VICINITY MAP 1" = 5000'



LEGAL DESCRIPTION RENAISSANCE PARKWAY RIGHT OF WAY

Commencing at the Southwest Corner of Tract 1B as shown on the plat titled COMBINATION PLAT OF TRACT 4 OCP FAIRBURN AND PROPERTY OF CLG FAIRBURN, said plat recorded in Plat Book 408, Page 142 in the office of the Clerk of Superior Court, Fulton County, Georgia; Said point being the POINT OF BEGINNING; from said POINT OF BEGINNING South 89 Degrees 50 Minutes 29 Seconds East, a distance of 5.63 feet; thence South 02 Degrees 02 Minutes 50 Seconds West, a distance of 165.59 feet to a point; thence along a curve to the left having a radius of 235.00 feet, an arc length of 79.31 feet, a chord distance of 78.93 feet and bearing South 08 Degrees 05 Minutes 24 Seconds East to a point; thence South 17 Degrees 44 Minutes 47 Seconds East, a distance of 345.89 feet to a point; thence South 16 Degrees 41 Minutes 29 Seconds East, a distance of 141.58 feet to a point; thence South 16 Degrees 38 Minutes 28 Seconds East, a distance of 144.12 feet to a point; thence a curve to the right having a radius of 440.00 feet, an arc length of 46.32 feet, a chord distance of 46.30 feet and bearing South 13 Degrees 37 Minutes 31 Seconds East to a point; thence South 10 Degrees 36 Minutes 34 Seconds East, a distance of 248.30 feet; thence South 10 Degrees 36 Minutes 34 Seconds East, a distance of 40.86 feet to a point; thence South 79 Degrees 25 Minutes 18 Seconds West, a distance of 80.00 feet to a point; thence North 10 Degrees 36 Minutes 34 Seconds West, a distance of 26.32 feet to a point; thence a curve to the left having a radius of 360.00 feet, an arc length of 37.90 feet, a chord distance of 37.88 feet and bearing North 13 Degrees 37 Minutes 31 Seconds West to a point; thence North 16 Degrees 38 Minutes 28 Seconds West, a distance of 152.55 feet; thence North 17 Degrees 23 Minutes 59 Seconds West, a distance of 95.45 feet to a point; thence North 17 Degrees 23 Minutes 59 Seconds West, a distance of 308.56 feet to a point; thence North 17 Degrees 45 Minutes 28 Seconds West, a distance of 73.45 feet to a point; thence a curve to the right having a radius of 315.00 feet, an arc length of 106.41 feet, a chord distance of 105.91 feet and bearing North 08 Degrees 04 Minutes 49 Seconds West to a point; thence North 01 Degrees 43 Minutes 17 Seconds East, a distance of 76.83 feet to a point; thence North 43 Degrees 09 Minutes 43 Seconds West, a distance of 14.13 feet to a point; thence South 46 Degrees 51 Minutes 59 Seconds West, a distance of 14.16 feet to a point; thence along said easterly right of way North 02 Degrees 01 Minutes 06 Seconds East, a distance of 78.25 feet to a point; thence leaving said easterly right of way South 89 Degrees 50 Minutes 29 Seconds East, a distance of 369.99 feet to the POINT OF BEGINNING; said described tract containing 2.741 Acres, more or less.

I HEREBY CERTIFY THAT THIS PROPOSED PRELIMINARY PLAT CONFORMS TO THE REQUIREMENTS OF THE DEVELOPMENT CODES AND ORDINANCES OF THE CITY.

City of Fairburn - Engineer Date

Development Coordinator Date

ALL REQUIREMENTS OF THE CITY RELATIVE TO THE PREPARATION AND SUBMISSION OF THIS PRELIMINARY PLAT HAVE BEEN FULFILLED AND APPROVAL OF THIS PLAT IS HEREBY GRANTED. THIS APPROVAL EXPIRES IN 180 DAYS FROM THIS DATE IF THE OWNER/DEVELOPER FAILS TO SECURE FINAL PLAT APPROVAL BY THAT TIME.

Mayor or City Administrator Date

Owner / Developer Date

OWNER CERTIFICATION I HEREBY SUBMIT THIS PLAT AS THE OWNER OR HIS AUTHORIZED AGENT, OF ALL PROPERTY SHOWN THEREON.

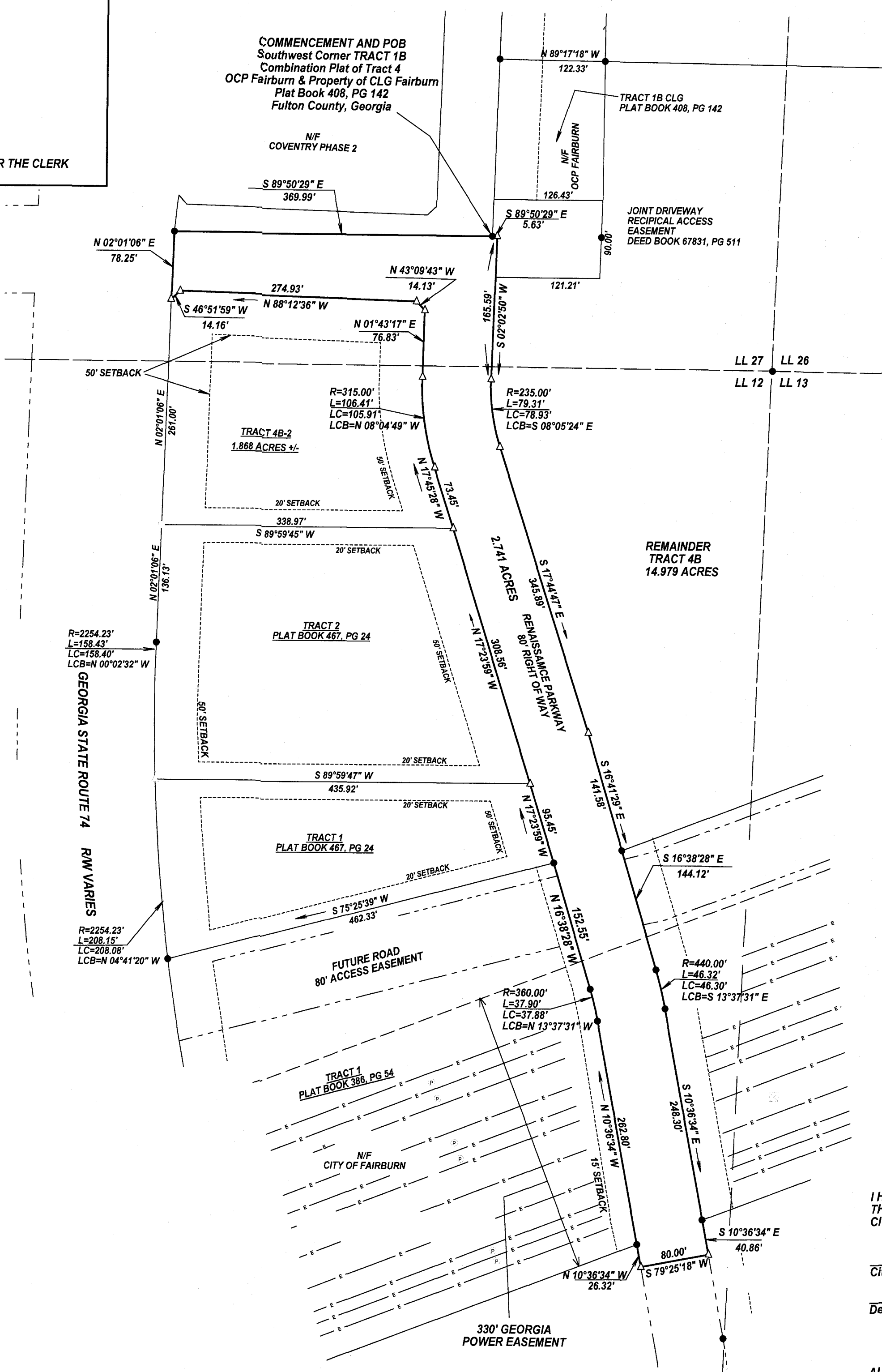
SIGNATURE OF OWNER DATE

NAME TITLE

NOTARY PUBLIC SEAL STATE OF GEORGIA

THIS BLOCK RESERVED FOR THE CLERK OF SUPERIOR COURT

COMMENCEMENT AND POB Southwest Corner TRACT 1B Combination Plat of Tract 4 OCP Fairburn & Property of CLG Fairburn Plat Book 408, PG 142 Fulton County, Georgia



PROPERTY SHOWN IS NOT IN A 'FLOOD HAZARD AREA' PER FIRM FLOOD INSURANCE RATE MAP NUMBER 13121C0426F ZONE: X DATED: 9-18-2023

As required by subsection (d) of O.C.G.A. Section 15-6-67, this plat has been prepared by a land surveyor and approved by all applicable local jurisdictions for recording as evidenced by approval certificates, signatures, stamps, or statements hereon. Such approvals or affirmations should be confirmed with the appropriate governmental bodies by any purchaser or user of this plat as to intended use of any parcel. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

ZONING - C2 GA HWY 74 OVERLAY DISTRICT FRONT - 50', 50 FROM EACH STREET FOR CORNER LOTS SIDE YARD - 20' REAR YARD - 30'

Surveyor: B. Shawn Gray, P.L.S. GA License Number 002879 Date: 01/24/2019



NOT A VALID DOCUMENT WITHOUT SURVEYOR'S ORIGINAL SIGNATURE

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF ONE FOOT IN >5,000 FEET AND AN ANGULAR ERROR OF <2" PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPASS RULE. THE PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE WITHIN ONE FOOT IN >10,000 FEET.

- Legend of Abbreviations: Iron Pin Set- 1/2" Rebar, Iron Pin Found, Concrete Monument Found, Fence Line, Center Line, Power Line, Calculated Point, Degrees, Power Pole, Power Meter, Air Conditioner, Ground Light (Power Underground), Flag Pole, Water Valve, Water Meter, Gas Meter, AC, SEC, T, R, N, NE, NW, S, SE, SW, E, West, Field Measurement, Platted Measurement, Now or Formerly, Point of Beginning, Right of Way, Minutes When Used in a Bearing, Seconds When Used in a Bearing, Feet When Used in Distance, Inches When Used in Distance, More or Less (or Plus or minus), Line Not To Scale

SHEET 1 OF 1

Table with client information: CLIENT DOUG SHUMATE, JOB NO. GA180129, ACAD FILE: OCP REPLAT TRACT 4 sub div 12-3-18 revised, FIELD DATE: DEC 15, 2017, DRAWN BY: BSG, FLD. BOOK: XXXX, REVISIONS, PER CITY COMMENTS (EMAIL), DATE 01/22/2019

SUBDIVISION PLAT FOR OCP FAIRBURN (DIVISION OF TRACT 4B)

PROPERTY LOCATED IN LAND LOT 12, 13, 26 & 27, 9TH LAND DISTRICT CITY OF FAIRBURN, FULTON COUNTY, GEORGIA



HARRIS GRAY

ENGINEERS SURVEYORS PLANNERS LSF 00118

824 3rd AVENUE, WESTPOINT, GA 706-645-5885

4. Project Name: Concept Plan (Meadow Glen Village)

- Applicant: Portman Residential, LLC
- Location: Highway 74/Senoia Road and Meadow Glen Parkway., Parcel No. 09F020100121014 and Parcel #09F070000271062
- Summary: The applicant requests approval of the Concept Plan.





CITY OF FAIRBURN

Planning & Zoning Department

Site Plan Review- Submittal Form

Submittal Date: 10/29/24

Deadline: _____
(Minimum 5 weeks prior to P & Z Commission meeting)

PROJECT INFORMATION

Project Name: Meadow Glen Village
 Address/Location of Project: Highway 74/Senoia Rd and Meadow Glen Parkway
 Access to Property: Meadow Glen Parkway and Highway 74/Senoia Rd
 Tax Parcel ID #: 09F020100121014, 09F070000271062 Size of Project: +/- 23 acres
 Zoning: PD No. of Lots (if applicable): 2(both existing)
 Zoning & Use of Adjacent Properties: See attached

Narrative/ Description for use of property/project (attach additional pages as necessary to provide greater detail):

See attached

CONTACT INFORMATION

Company Name: Developer: Portman Residential, LLC and Agent/Engineer: Summit Engineering Consultants, Inc
 Contact Person: See attached for contacts and contact information
 Mailing Address: _____
 Phone: _____ Fax: _____
 Email Address: _____

UTILITY SERVICE PROVIDERS

Water: City of Fairburn Sewer: City of Fairburn
 Electric: Coweta Fayette EMC Gas: AGL
 Cable: Comcast Other: ATT

Sketch Plan	Conceptual Site Plan	Construction Plans w/Hydro	Landscape Plan
<input type="checkbox"/> 1 st Submittal- No Fee Submit to P & Z for review	<input checked="" type="checkbox"/> 1 st Submittal \$150 + \$20/acre <input type="checkbox"/> Resubmittal*	<input type="checkbox"/> 1 st Submittal \$500 + \$20/ acre <input type="checkbox"/> Resubmittal*	<input type="checkbox"/> 1 st Submittal \$300 + \$20/acre <input type="checkbox"/> Resubmittal*
If necessary, 2 extra copies (If legible, .pdf file is acceptable). Staff routes to: <input type="checkbox"/> Comm. Dev. Director <input type="checkbox"/> Planning & Zoning	7 Copies- Staff Routes to: <input type="checkbox"/> Building/Prop. Manager <input type="checkbox"/> Comm. Dev. Director <input type="checkbox"/> Engineer <input type="checkbox"/> Fire Marshal <input type="checkbox"/> Landscape Architect <input type="checkbox"/> Planning & Zoning <input type="checkbox"/> Water & Sewer	7 Copies- Staff Routes to: <input type="checkbox"/> Building / Prop. Manager <input type="checkbox"/> Comm. Dev. Director <input type="checkbox"/> Engineer <input type="checkbox"/> Fire Marshal <input type="checkbox"/> Landscape Architect <input type="checkbox"/> Planning & Zoning <input type="checkbox"/> Water & Sewer	2 Copies- Staff Routes to: <input type="checkbox"/> Comm. Dev. Director <input type="checkbox"/> Landscape Architect

Resubmittals- Each subsequent resubmittal will incur a fee of \$100.

Conceptual Site Plan Checklist

- An accurate, up-to-date and certified survey of the property on which the project is to be built.
- A vicinity map showing the property in relation to the general area of the City in which it is located.
- The name of the proposed project.
- Name, address, phone number, and fax number of the owner, the developer and the designer who prepared the plan.
- Graphic scale, north arrow, and date of preparation.
- Zoning of the property with required setbacks shown.
- Zoning, use, and ownership of all adjoining property.
- Total area of the site and the area of the site proposed to be devoted to impervious surfaces.
- Approximate topography of the site.
- Significant natural features on and adjacent to the site, including the 100 year flood-plain, if appropriate.
- Existing man-made features on the site.
- Proposed site layout including buildings, drives, parking, walkways, landscaped areas, buffer easements, utilities and any other features necessary to properly present the concept.
- Proposed off-site improvements which may be necessary to properly develop site.
- Architectural elevations to show the intended architectural character of the proposed building and the nature of the materials to be used.
- If the site plan is for an addition to or change in an existing site plan, the drawings must clearly show the changes that are being proposed.
- Provide vehicular use area landscaping requirements

Meadow Glen Village- Concept Plan Narrative

Hwy 74/Senoia Road and Meadow Glen Parkway, Fairburn GA

Proposed Mixed Use community including 332 multifamily units, and 12,000 sf commercial, office, and institutional uses. The Conceptual Plan submitted provides additional design details for the property which was recently rezoned (conditions changed) Rezoning Ordinance 2024-17. The Concept submittal provides the required detail to ensure that the project complies with the specific conditions for development and includes a dimensioned site plan, data tables, grading and utility plans, open space calculations, vehicular use area landscaping, off-site roadway improvements, and building placement. Concept architectural elevations are provided to show the architectural character of proposed buildings.

Zoning: PD

Zoning and Use of Neighboring Properties:

North: C-2 (General Commercial) and PD (Planned Development) - Commercial

East: PD (Planned Development) - Commercial

South: PD (Planned Development)- Single Family and Multifamily

West: PD (Planned Development)- Single Family and Multifamily

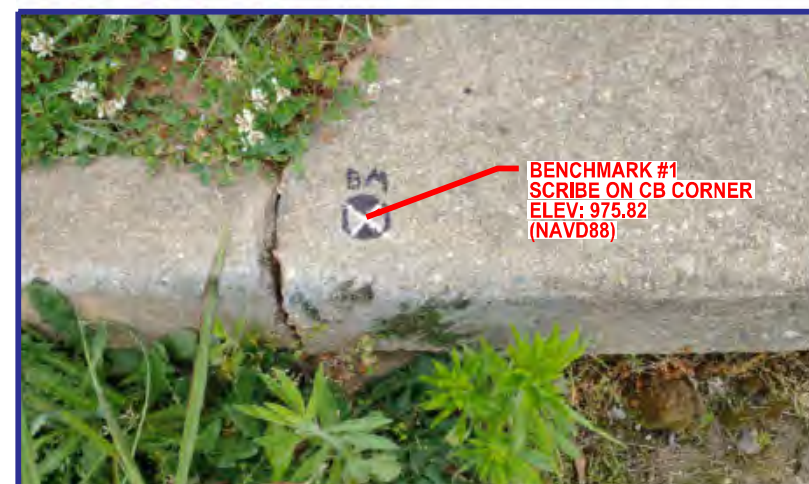
Project Contacts

Chris Harrell with Summit Engineering Consultants, Inc. is the Civil Engineer of record for the project and the applicant/agent for Portman Residential who is the Developer and future owner. Contact information for both Chris Harrell and Portman Residential are listed below.

Engineer/Civil: Contacts for Comments/Questions	Developer:
<p>Summit Engineering Consultants, Inc. 6250 Shiloh Road, Ste 100 Alpharetta, GA 30005</p> <p>Chris Harrell, P.E. charrell@summitcon.net Office: 770-667-0094 Cell: 404-401-9695</p> <p>Angie Butzow abutzow@summitcon.net Office: 770-667-0094 Cell: 404-314-6251</p>	<p>Portman Residential 303 Peachtree Center Ave NE Suite 575 Atlanta, GA 30303</p> <p>Marc Brambrut mbrambrut@portmanresidential.com direct: 404-934-0293</p>

MISC. NOTE

THIS SURVEY IS A RETRACEMENT OF EXISTING PARCELS OF LAND, THE PROPOSED PROPERTY LINES SHOWN ARE PRELIMINARY, PENDING THE RECORDATION OF A SUBDIVISION PLAT. THIS SURVEY DOES NOT SUBDIVIDE OR CREATE A NEW TRACT OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES.

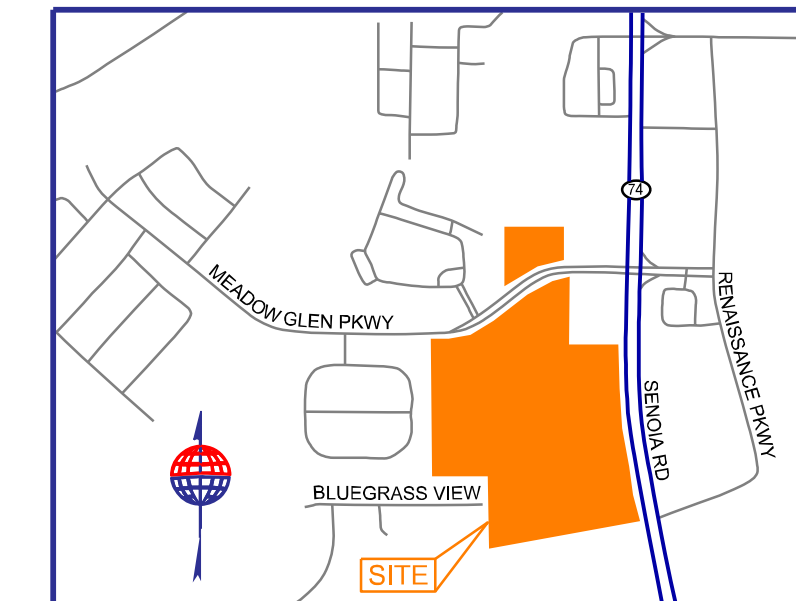


BENCHMARK #1



BENCHMARK #2

ALTA/NSPS LAND TITLE SURVEY FOR TRACT A & D: PORTMAN RESIDENTIAL, LLC & FIDELITY NATIONAL TITLE INSURANCE COMPANY TRACT C: 3 PATAS REAL ESTATE INVESTMENTS LLC & FIDELITY NATIONAL TITLE INSURANCE COMPANY (MEADOW GLEN VILLAGE) LOCATED IN LAND LOTS 12 & 27, DISTRICT 9F CITY OF FAIRBURN, FULTON COUNTY, GEORGIA



LOCATION MAP

NOT TO SCALE
LAT - 33°32'02.57" N
LONG - 84°34'44.32" W

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT.

AREA TABLE

TRACT A: 879,386 SQ.FT. OR 20,1880 AC.
TRACT C: 109,682 SQ.FT. OR 2.5179 AC.
TRACT D: 128,646 SQ.FT. OR 2.9533 AC.
TOTAL: 1,117,714 SQ.FT. OR 25.6592 AC.

REFERENCE MATERIAL

- 1. GDOT R/W PLANS FOR STATE ROUTE 74 FEDERAL AID PROJECT CSNHS-0007-00(841) P.1 NO. 000784 DATED MAY 22, 2018 & LAST REVISED MARCH 28, 2019
- 2. PRELIMINARY SUBDIVISION PLAT OF MEADOW GLEN OUTPARCELS PREPARED BY METRO ENGINEERING & SURVEYING CO., INC. DATED APRIL 17, 2015
- 3. ALTA/NSPS LAND TITLE SURVEY FOR WHITE CONSTRUCTION COMPANY PREPARED BY HESTER & ASSOCIATES, INC. DATED MAY 12, 1999
- 4. ALTA/NSPS LAND TITLE SURVEY FOR BNC INVESTMENT PARTNERS, LLC AND FIDELITY NATIONAL TITLE INSURANCE COMPANY PREPARED BY TERRAMARK SURVEYING, INC. DATED AUGUST 10, 2022
- 5. DEEDS AND PLATS AS SHOWN HEREON.

SURVEY NOTES

EQUIPMENT USED: A TRIMBLE "S" SERIES TOTAL STATION WAS USED TO OBTAIN ANGULAR MEASUREMENTS AND DISTANCE MEASUREMENTS. A TRIMBLE R12 DUAL FREQUENCY GPS UNIT WAS USED FOR ESTABLISHING CONTROL. A NETWORK ADJUSTED RTK SURVEY WAS PERFORMED AND ADJUSTED BY RELATIVE POSITIONAL ACCURACY. CLOSURE STATEMENT: THIS SURVEY HAS BEEN CALCULATED FOR CLOSURE AND TRACT C IS ACCURATE WITHIN ONE FOOT IN 1,117,386 FEET. TRACT D IS ACCURATE WITHIN ONE FOOT IN 155,332 FEET. TRACT A IS ACCURATE WITHIN ONE FOOT IN 278,176 FEET. THE FIELD DATA UPON WHICH THIS SURVEY IS BASED, ARE WITHIN THE POSITIONAL TOLERANCES ALLOWED FOR ALTA/NSPS LAND TITLE SURVEYS PER THE 2021 MINIMUM TECHNICAL STANDARDS ESTABLISHED BY ALTA AND NSPS AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THE BEARINGS SHOWN ON THIS SURVEY ARE COMPUTED ANGLES BASED ON A GRID BEARING BASED ON THE WEST ZONE NAD83. ALL HORIZONTAL DISTANCES SHOWN ARE GROUND DISTANCES. MEASURING UNITS OF THIS SURVEY ARE IN U.S. SURVEY FEET. CONTOURS ARE SHOWN AT TWO FOOT INTERVALS. ELEVATIONS ARE BASED ON RTK GLOBAL POSITIONING SYSTEMS OBSERVATION AND ARE RELATIVE TO NAVD 88 DATUM. FIELD WORK FOR THIS PROPERTY WAS COMPLETED ON JUNE 7, 2024. DUE TO VARIANCES IN GPS EQUIPMENT, TECHNIQUES, FEDERAL ADJUSTMENTS TO STATE PLANE MODELS AND DAILY CONDITIONS IMPACTING GPS RECEIPTIVITY, GPS SOLUTIONS MAY VARY FROM THOSE PROVIDED ON THIS SURVEY BOTH HORIZONTALLY AND VERTICALLY. ANY AND ALL CONTRACTORS, CONSULTANTS, INDIVIDUALS OR ENTITIES RELYING ON STATE PLANE COORDINATES TO RELIANTLY DATA PROVIDED ON THIS SURVEY MUST LOCALIZE TO THE SURVEY CONTROL, BENCHMARKS OR PROPERTY MONUMENTATION, ESTABLISHED BY THIS SURVEY IN ORDER TO ENSURE ACCURACY OF DATA. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINGUISH AND UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR ISSUES ENCOUNTERED DUE TO FAILURE TO LOCALIZE DIRECTLY TO THIS SURVEY DATUM. INFORMATION REGARDING SIZE, LOCATION, AND SPECIES OF EXISTING TREES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE SIZE AND SPECIES OF THE SAID TREES WITHOUT VERIFICATION FROM THE DESIGNATED ARBORIST BY THE LOCAL REGULATORY AUTHORITY. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINGUISH AND UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON EXCEPT BY APPROVAL OF SAID AUTHORITY. THIS SURVEY MAY NOT REPRESENT OFFSITE PAINT STRIPING TO THE ACCURACY REQUIRED FOR LANE DESIGN. TERRAMARK LOCATES THE EDGE OF PAVING AND CRITICAL POINTS TO REFLECT ACCURATE TOPOGRAPHIC DATA ONLY. ACCURACY OF PAINT LOCATIONS SHOULD BE VERIFIED WITH SURVEYOR PRIOR TO USING THIS SURVEY FOR DESIGN. INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY TO THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINGUISH AND UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION. INFORMATION REGARDING STORM SEWER AND SANITARY SEWER AS SHOWN HEREON, IS BASED ON OBSERVATIONS TAKEN BY TERRAMARK EMPLOYEES AT THE GROUND ELEVATION OF THE EXISTING STRUCTURE. TERRAMARK EMPLOYEES ARE NOT AUTHORIZED TO ENTER A CONFINED SPACE SUCH AS A STRUCTURE. THEREFORE, THERE IS NO CERTAINTY OF THE PIPE SIZES AND PIPE MATERIAL THAT ARE SHOWN ON THIS SURVEY. EXCAVATION BY A CERTIFIED CONTRACTOR IS THE ONLY WAY TO VERIFY PIPE SIZE AND MATERIAL. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINGUISH AND UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE PIPE INFORMATION SHOWN HEREON. TERRAMARK LAND SURVEYING, INC. WAS UNABLE TO DETERMINE THE EXTENT OF PIPES MARKED AS APPROXIMATE DIRECTION ONLY. AFORESAID PIPE IS DRAWN ON THE RIGHT-OF-WAY LINE OF THE RIGHT-OF-WAY LINE. TERRAMARK EMPLOYEES ARE NOT AUTHORIZED TO ENTER A CONFINED SPACE SUCH AS A STRUCTURE. THEREFORE, THERE IS NO CERTAINTY OF THE PIPE SIZES AND PIPE MATERIAL THAT ARE SHOWN ON THIS SURVEY. EXCAVATION BY A CERTIFIED CONTRACTOR IS THE ONLY WAY TO VERIFY PIPE SIZE AND MATERIAL. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINGUISH AND UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE PIPE INFORMATION SHOWN HEREON. STATE WATERS AND BUFFERS AS SHOWN OR NOT SHOWN HEREON ARE SUBJECT TO REVIEW BY LOCAL JURISDICTION OFFICIALS. IT IS THE RESPONSIBILITY OF THE LOCAL AUTHORITY TO DETERMINE SPECIFIC WATER CLASSIFICATION, THEREFORE, TERRAMARK LAND SURVEYING ACCEPTS NO RESPONSIBILITY IN THE IDENTIFICATION OF SAID WATERS OR BUFFERS IDENTIFIED OR NOT IDENTIFIED HEREON. PROPERTY IS SUBJECT TO RIGHTS OF UPPER AND LOWER RIPARIAN OWNERS IN AND TO THE WATER OF CREEKS AND BRANCHES CROSSING OR ADJOINING SUBJECT PROPERTY AND THE NATURAL FLOW THEREOF, FREE FROM DIMINUTION OR POLLUTION. THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS SURVEY DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT THE EXPRESS CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS OR ENTITY. TERRAMARK LAND SURVEYING, INC. DOES NOT WARRANT THE EXISTENCE OR NON-EXISTENCE OF ANY WETLANDS OR HAZARDOUS WASTE IN THE SURVEY AREA.

TITLE NOTES - TRACT A & D

- I. ACCORDING TO THE "FIRM" (FLOOD INSURANCE RATE MAP) OF FULTON COUNTY, GEORGIA (PANEL NUMBER 13121C0462F), DATED SEPTEMBER 18, 2015, NO PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA.
- II. SUBJECT PROPERTY HAS DIRECT VEHICULAR ACCESS TO THE PUBLIC RIGHTS-OF-WAY OF MEADOW GLEN PARKWAY AND GEORGIA STATE ROUTE 74 AS SHOWN HEREON.
- III. AS OF THE DATE OF THIS SURVEY, TITLE TO SUBJECT PROPERTY APPEARS TO BE VESTED IN WHITE BROOKWOOD LIMITED LIABILITY COMPANY, PER DEED RECORDED AMONG THE LAND RECORDS OF FULTON COUNTY, GEORGIA IN DEED BOOK 28566, PAGE 114 (TRACT A), AND DEED BOOK 48406, PAGE 44 (TRACT D).
- IV. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RIGHTS OF WAY, RECORDED AND UNRECORDED.
- V. THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A CURRENT TITLE REPORT (COMMITMENT NO. 240856GA, EFFECTIVE DATE OF JUNE 2, 2024), PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, AND RECEIVED ON JULY 9, 2024. APPLICABLE ENCUMBRANCES AND SPECIAL EXCEPTIONS ARE SHOWN BELOW AND/OR ON THIS SURVEY.

- 11. EASEMENT CONTAINED IN RIGHT-OF-WAY DEED, RECORDED IN DEED BOOK 10232, PAGE 289, AMONG THE LAND RECORDS OF FULTON COUNTY, GEORGIA. (DOES NOT AFFECT SUBJECT PROPERTY, EASEMENT EXPIRED)
- 12. EASEMENT CONTAINED IN RIGHT-OF-WAY DEED, RECORDED IN DEED BOOK 9858, PAGE 405, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY AS TO 330' GEORGIA POWER COMPANY EASEMENT, WHICH IS THE ONLY LEGIBLE EASEMENT IN DOCUMENT PROVIDED.)
- 13. EASEMENT CONTAINED IN RIGHT-OF-WAY DEED, RECORDED IN DEED BOOK 9858, PAGE 405, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY AS TO 330' GEORGIA POWER COMPANY EASEMENT, WHICH IS THE ONLY LEGIBLE EASEMENT IN DOCUMENT PROVIDED.)
- 14. EASEMENT FOR RIGHT-OF-WAY, RECORDED IN DEED BOOK 2500, PAGE 378, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY AS TO A PORTION OF THE 330' GEORGIA POWER COMPANY EASEMENT SHOWN ON SURVEY.)
- 15. EASEMENT FOR RIGHT-OF-WAY, RECORDED IN DEED BOOK 3276, PAGE 114, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY AS TO A PORTION OF THE 330' GEORGIA POWER COMPANY EASEMENT SHOWN ON SURVEY.)
- 16. DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, RECORDED IN DEED BOOK 31172, PAGE 38, AFORESAID RECORDS; AS AFFECTED BY CONFIRMATION OF EXPIRATION OF ORIGINAL DECLARATION AND FIRST AMENDMENT TO SECOND DECLARATION, RECORDED IN DEED BOOK 61896, PAGE 570, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE)
- 17. DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS, RECORDED IN DEED BOOK 55405, PAGE 147, AFORESAID RECORDS; RE-RECORDED IN DEED BOOK 55430, PAGE 657, AFORESAID RECORDS; AND AS RE-RECORDED IN DEED BOOK 56056, PAGE 448, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY AS SHOWN ON SURVEY)
- 18. TEMPORARY GRADING EASEMENT, RECORDED IN DEED BOOK 55405, PAGE 171, AFORESAID RECORDS. (DOES NOT AFFECT SUBJECT PROPERTY, EASEMENT EXPIRED)
- 19. DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS, RECORDED IN DEED BOOK 9858, PAGE 285, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE)
- 20. TEMPORARY DRIVEWAY EASEMENT, RECORDED IN DEED BOOK 66971, PAGE 298, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY)
- 21. SANITARY SEWER EASEMENT, UNDERGROUND COMMUNICATION LINE, UNDERGROUND ELECTRIC LINE AND UNDERGROUND WATER LINE AS SHOWN ON THAT PLAT RECORDED IN PLAT BOOK 448, PAGE 84, AFORESAID RECORDS. (SAID UTILITIES ARE SHOWN ON SURVEY, NO SANITARY SEWER EASEMENT (SAID UTILITIES ARE SHOWN ON SURVEY, NO SANITARY SEWER EASEMENT OBSERVED ON PLAT PROVIDED).

- 17. DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS, RECORDED IN DEED BOOK 55405, PAGE 657, AFORESAID RECORDS; AND AS RE-RECORDED IN DEED BOOK 56056, PAGE 448, AFORESAID RECORDS. (DOES NOT AFFECT SUBJECT PROPERTY)
- 18. TEMPORARY GRADING EASEMENT, RECORDED IN DEED BOOK 55405, PAGE 171, AFORESAID RECORDS. (DOES NOT AFFECT SUBJECT PROPERTY, EASEMENT EXPIRED)
- 19. DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS, RECORDED IN DEED BOOK 9858, PAGE 285, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE)
- 20. TEMPORARY DRIVEWAY EASEMENT, RECORDED IN DEED BOOK 66971, PAGE 298, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY)
- 21. SANITARY SEWER EASEMENT, UNDERGROUND COMMUNICATION LINE, UNDERGROUND ELECTRIC LINE AND UNDERGROUND WATER LINE AS SHOWN ON THAT PLAT RECORDED IN PLAT BOOK 448, PAGE 84, AFORESAID RECORDS. (SAID UTILITIES ARE SHOWN ON SURVEY, NO SANITARY SEWER EASEMENT (SAID UTILITIES ARE SHOWN ON SURVEY, NO SANITARY SEWER EASEMENT OBSERVED ON PLAT PROVIDED).

- 22. EASEMENT CONTAINED IN RIGHT-OF-WAY DEED, RECORDED IN DEED BOOK 10232, PAGE 289, AMONG THE LAND RECORDS OF FULTON COUNTY, GEORGIA. (DOES NOT AFFECT SUBJECT PROPERTY, EASEMENT EXPIRED)
- 23. DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, RECORDED IN DEED BOOK 31172, PAGE 38, AFORESAID RECORDS; AS AFFECTED BY CONFIRMATION OF EXPIRATION OF ORIGINAL DECLARATION AND FIRST AMENDMENT TO SECOND DECLARATION, RECORDED IN DEED BOOK 61896, PAGE 570, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE)
- 24. RECIPROCAL EASEMENT AND RESTRICTIVE COVENANT AGREEMENT, RECORDED IN DEED BOOK 64843, PAGE 232, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY, ACCESS EASEMENT SHOWN ON SURVEY)
- 25. SEWER LINE EASEMENT, RECORDED IN DEED BOOK 64998, PAGE 129, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY, SEWER EASEMENT SHOWN ON SURVEY)
- 26. RECIPROCAL EASEMENT AND RESTRICTIVE COVENANT AGREEMENT, RECORDED IN DEED BOOK 66309, PAGE 230, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE)
- 27. SANITARY SEWER EASEMENT, UNDERGROUND COMMUNICATION LINE, UNDERGROUND ELECTRIC LINE AND UNDERGROUND WATER LINE AS SHOWN ON THAT PLAT RECORDED IN PLAT BOOK 448, PAGE 84, AFORESAID RECORDS. (SAID UTILITIES ARE SHOWN ON SURVEY, NO SANITARY SEWER EASEMENT OBSERVED ON PLAT PROVIDED).

TITLE NOTES - TRACT C

- I. ACCORDING TO THE "FIRM" (FLOOD INSURANCE RATE MAP) OF FULTON COUNTY, GEORGIA (PANEL NUMBER 13121C0462F), DATED SEPTEMBER 18, 2015, NO PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA.
- II. SUBJECT PROPERTY HAS ACCESS TO THE PUBLIC RIGHT-OF-WAY OF GEORGIA STATE ROUTE 74. NO CURB CUTS OR EXISTING DRIVES OBSERVED.
- III. AS OF THE DATE OF THIS SURVEY, TITLE TO SUBJECT PROPERTY APPEARS TO BE VESTED IN 3 PATAS REAL ESTATE INVESTMENTS LLC, PER DEED RECORDED AMONG THE LAND RECORDS OF FULTON COUNTY, GEORGIA IN DEED BOOK 66509, PAGE 274.
- IV. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RIGHTS OF WAY, RECORDED AND UNRECORDED.
- V. THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A CURRENT TITLE REPORT (COMMITMENT NO. 240856GA, EFFECTIVE DATE OF APRIL 15, 2024), PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, AND RECEIVED ON MAY 10, 2024. APPLICABLE ENCUMBRANCES AND SPECIAL EXCEPTIONS ARE SHOWN BELOW AND/OR ON THIS SURVEY.

- 11. EASEMENT CONTAINED IN RIGHT-OF-WAY DEED, RECORDED IN DEED BOOK 10232, PAGE 289, AMONG THE LAND RECORDS OF FULTON COUNTY, GEORGIA. (DOES NOT AFFECT SUBJECT PROPERTY, EASEMENT EXPIRED)
- 12. EASEMENT CONTAINED IN RIGHT-OF-WAY DEED, RECORDED IN DEED BOOK 9858, PAGE 405, AFORESAID RECORDS. (330' GEORGIA POWER COMPANY EASEMENT DOES NOT AFFECT SUBJECT PROPERTY, NO OTHER LEGIBLE ITEMS IN DOCUMENT PROVIDED.)
- 13. EASEMENT CONTAINED IN RIGHT-OF-WAY DEED, RECORDED IN DEED BOOK 9858, PAGE 405, AFORESAID RECORDS. (330' GEORGIA POWER COMPANY EASEMENT DOES NOT AFFECT SUBJECT PROPERTY, NO OTHER LEGIBLE ITEMS IN DOCUMENT PROVIDED.)
- 14. EASEMENT FOR RIGHT-OF-WAY, RECORDED IN DEED BOOK 2500, PAGE 378, AFORESAID RECORDS. (DOES NOT AFFECT SUBJECT PROPERTY)
- 15. EASEMENT FOR RIGHT-OF-WAY, RECORDED IN DEED BOOK 3276, PAGE 114, AFORESAID RECORDS. (DOES NOT AFFECT SUBJECT PROPERTY)
- 16. DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, RECORDED IN DEED BOOK 31172, PAGE 38, AFORESAID RECORDS; AS AFFECTED BY CONFIRMATION OF EXPIRATION OF ORIGINAL DECLARATION AND FIRST AMENDMENT TO SECOND DECLARATION, RECORDED IN DEED BOOK 61896, PAGE 570, AFORESAID RECORDS. (DOES NOT AFFECT SUBJECT PROPERTY)
- 17. DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS, RECORDED IN DEED BOOK 55405, PAGE 657, AFORESAID RECORDS; AND AS RE-RECORDED IN DEED BOOK 56056, PAGE 448, AFORESAID RECORDS. (DOES NOT AFFECT SUBJECT PROPERTY)
- 18. TEMPORARY GRADING EASEMENT, RECORDED IN DEED BOOK 55405, PAGE 171, AFORESAID RECORDS. (DOES NOT AFFECT SUBJECT PROPERTY, EASEMENT EXPIRED)
- 19. DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS, RECORDED IN DEED BOOK 9858, PAGE 285, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE)
- 20. TEMPORARY DRIVEWAY EASEMENT, RECORDED IN DEED BOOK 66971, PAGE 298, AFORESAID RECORDS. (DOES NOT AFFECT SUBJECT PROPERTY)
- 21. SANITARY SEWER EASEMENT, UNDERGROUND COMMUNICATION LINE, UNDERGROUND ELECTRIC LINE AND UNDERGROUND WATER LINE AS SHOWN ON THAT PLAT RECORDED IN PLAT BOOK 448, PAGE 84, AFORESAID RECORDS. (SAID UTILITIES ARE SHOWN ON SURVEY, NO SANITARY SEWER EASEMENT (SAID UTILITIES ARE SHOWN ON SURVEY, NO SANITARY SEWER EASEMENT OBSERVED ON PLAT PROVIDED).

- 22. EASEMENT CONTAINED IN RIGHT-OF-WAY DEED, RECORDED IN DEED BOOK 10232, PAGE 289, AMONG THE LAND RECORDS OF FULTON COUNTY, GEORGIA. (DOES NOT AFFECT SUBJECT PROPERTY, EASEMENT EXPIRED)
- 23. DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, RECORDED IN DEED BOOK 31172, PAGE 38, AFORESAID RECORDS; AS AFFECTED BY CONFIRMATION OF EXPIRATION OF ORIGINAL DECLARATION AND FIRST AMENDMENT TO SECOND DECLARATION, RECORDED IN DEED BOOK 61896, PAGE 570, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE)
- 24. RECIPROCAL EASEMENT AND RESTRICTIVE COVENANT AGREEMENT, RECORDED IN DEED BOOK 64843, PAGE 232, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY, ACCESS EASEMENT SHOWN ON SURVEY)
- 25. SEWER LINE EASEMENT, RECORDED IN DEED BOOK 64998, PAGE 129, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY, SEWER EASEMENT SHOWN ON SURVEY)
- 26. RECIPROCAL EASEMENT AND RESTRICTIVE COVENANT AGREEMENT, RECORDED IN DEED BOOK 66309, PAGE 230, AFORESAID RECORDS. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE)
- 27. SANITARY SEWER EASEMENT, UNDERGROUND COMMUNICATION LINE, UNDERGROUND ELECTRIC LINE AND UNDERGROUND WATER LINE AS SHOWN ON THAT PLAT RECORDED IN PLAT BOOK 448, PAGE 84, AFORESAID RECORDS. (SAID UTILITIES ARE SHOWN ON SURVEY, NO SANITARY SEWER EASEMENT OBSERVED ON PLAT PROVIDED).

PROPERTY DESCRIPTION (TRACT A)

All that tract or parcel of land lying and being in Land Lots 12 & 27, 9F District, City of Fairburn, Fulton County, Georgia and being more particularly described as follows:

- To find the Point of Beginning, commence at a capped rebar found "LSF #00538" at the intersection of the Southerly Right-of-Way Line of Meadow Glen Parkway, (apparent 80 feet wide public right-of-way) and the Westerly Right-of-Way Line of Georgia State Route 74 (a.k.a. Senoia Road), (apparent variable width public right-of-way) as per GDOT Right-of-Way Plans - Project No. CSNHS-0007-00(841); thence, leaving said point and running with the said line of Meadow Glen Parkway, North 87° 39' 47" West, 234.40 feet; thence, 30.63 feet along the arc of a curve deflecting to the left, having a radius of 410.00 feet and a chord bearing and distance of North 59° 48' 13" West, 30.62 feet to a capped rebar found "LSF #00538", being the True Point of Beginning of the herein described tract or parcel of land; thence, leaving the said Point of Beginning and the said line of Meadow Glen Parkway and running
- 1. South 01° 57' 51" West, 503.16 feet; thence,
- 2. North 87° 39' 47" West, 45.99 feet; thence,
- 3. North 01° 57' 51" West, 349.63 feet; thence,
- 4. South 87° 39' 47" East, 325.07 feet to a point on the aforesaid line of Georgia State Route 74; thence, running with the said line of Georgia State Route 74
- 5. 138.11 feet along the arc of a curve deflecting to the left, having a radius of 1,473.60 feet and a chord bearing and distance of South 08° 38' 43" East, 138.06 feet; thence,
- 6. South 11° 19' 49" East, 325.77 feet to a 1/2 inch rebar found; thence,
- 7. South 78° 38' 15" West, 843.47 feet; thence,
- 8. North 06° 57' 23" East, 343.98 feet to a 1/2 inch rebar found inside of a 1 inch open top pipe; thence,
- 9. North 89° 45' 39" West, 482.14 feet to a 1/2 inch rebar found; thence,
- 10. North 00° 18' 11" East, 759.04 feet to a point on the aforesaid line of Meadow Glen Parkway; thence, running with the said line of Meadow Glen Parkway
- 11. 334.87 feet along the arc of a curve deflecting to the left, having a radius of 490.00 feet and a chord bearing and distance of North 70° 43' 14" East, 328.39 feet; thence,
- 12. North 51° 08' 34" East, 230.76 feet; thence,
- 13. 264.15 feet along the arc of a curve deflecting to the right, having a radius of 410.00 feet and a chord bearing and distance of North 69° 35' 59" East, 259.69 feet to the Point of Beginning, containing 879,386 square feet or 20,188 acres of land, more or less.

Property is subject to all easements and rights of way recorded and unreCORDED.

PROPERTY DESCRIPTION (TRACT C)

All that tract or parcel of land lying and being in Land Lot 12, 9F District, City of Fairburn, Fulton County, Georgia and being more particularly described as follows:

- To find the Point of Beginning, commence at a capped rebar found "LSF #00538" at the intersection of the Southerly Right-of-Way Line of Meadow Glen Parkway, (apparent 80 feet wide public right-of-way) and the Westerly Right-of-Way Line of Georgia State Route 74 (a.k.a. Senoia Road), (apparent variable width public right-of-way) as per GDOT Right-of-Way Plans - Project No. CSNHS-0007-00(841); thence, leaving said point and running with the said line of Georgia State Route 74, South 01° 57' 51" West, 504.30 feet to the True Point of Beginning of the herein described tract or parcel of land; thence, leaving the said Point of Beginning and continuing along the said line of Georgia State Route 74
- 1. South 01° 57' 51" West, 146.55 feet; thence,
- 2. 203.81 feet along the arc of a curve deflecting to the left, having a radius of 1,473.60 feet and a chord bearing and distance of South 01° 59' 53" East, 203.85 feet; thence, leaving the aforesaid line of Georgia State Route 74 and running
- 3. North 87° 39' 47" West, 325.07 feet; thence,
- 4. North 01° 57' 51" East, 349.63 feet; thence,
- 5. South 87° 39' 47" East, 311.00 feet to the Point of Beginning, containing 109,682 square feet or 2.5179 acres of land, more or less.

Property is subject to all easements and rights of way recorded and unreCORDED.

PROPERTY DESCRIPTION (TRACT D)

All that tract or parcel of land lying and being in Land Lots 12 & 27, 9F District, City of Fairburn, Fulton County, Georgia and being more particularly described as follows:

- To find the Point of Beginning, commence at a point at the intersection of the Northerly Right-of-Way Line of Meadow Glen Parkway, (apparent 80 feet wide public right-of-way) and the Westerly Right-of-Way Line of Georgia State Route 74 (a.k.a. Senoia Road), (apparent variable width public right-of-way) as per GDOT Right-of-Way Plans - Project No. CSNHS-0007-00(841); thence, leaving said point and running with the said line of Meadow Glen Parkway, South 87° 39' 28" West, 233.88; thence, 46.59 feet along the arc of a curve deflecting to the left, having a radius of 490.00 feet and a chord bearing and distance of South 89° 33' 47" West, 46.67 feet to the True Point of Beginning of the herein described tract or parcel of land; thence, leaving the said Point of Beginning and continuing along the said line of Meadow Glen Parkway
- 1. 305.48 feet along the arc of a curve deflecting to the left, having a radius of 490.00 feet and a chord bearing and distance of South 68° 58' 26" West, 300.55 feet; thence,
- 2. South 51° 12' 21" West, 212.63 feet; thence, leaving the aforesaid line of Meadow Glen Parkway and running
- 3. North 02° 20' 32" East, 456.65 feet; thence,
- 4. South 69° 01' 50" East, 434.79 feet; thence,
- 5. South 01° 58' 10" West, 200.44 feet to the Point of Beginning, containing 128,646 square feet or 2.9533 acres of land, more or less.

Property is subject to all easements and rights of way recorded and unreCORDED.

AREAS OF INTEREST TABLE

AREA OF INTEREST
1. COMMUNICATION LINE CROSSES PROPERTY LINE
2. ELECTRIC LINE CROSSES PROPERTY LINE
3. FENCE AND COLUMNS ON SUBJECT PROPERTY
4. LIGHT POLE ON PROPERTY LINE
5. FENCE CROSSES PROPERTY LINE
6. STORM PIPE CROSSES PROPERTY LINE
7. STORM PIPE CROSSES PROPERTY LINE
8. STORM PIPE CROSSES PROPERTY LINE
9. ELECTRIC LINE RUNS THROUGH SUBJECT PROPERTY
10. GUY WIRES CROSS PROPERTY LINE
11. COMMUNICATION LINE CROSSES PROPERTY LINE
12. COMMUNICATION LINE CROSSES PROPERTY LINE
13. STORM PIPE CROSSES PROPERTY LINE

SITE INFORMATION

TRACT "A"
CURRENT OWNER: WHITE BROOKWOOD LIMITED LIABILITY COMPANY DB. 28566 PG. 114
TAX PARCEL ID # 09F020100121014
ADDRESS: UNASSIGNED
TRACT "C"
CURRENT OWNER: 3 PATAS REAL ESTATE INVESTMENTS LLC DB. 66509 PG. 274
TAX PARCEL ID # 09F020100121014 (A PORTION OF)
ADDRESS: UNASSIGNED
TRACT "D"
CURRENT OWNER: WHITE BROOKWOOD LIMITED LIABILITY COMPANY DB. 48406 PG. 44
TAX PARCEL ID # 09F070000271062
ADDRESS: UNASSIGNED
ZONING INFORMATION (TRACT A, C & D)
ZONING: PD (PLANNED DEVELOPMENT ZONING DISTRICT)
JURISDICTION: CITY OF FAIRBURN
SETBACKS & LANDSCAPE BUFFERS SHOWN PER REF. #2, #4, & PB. 446 PG. 84
LOCAL GOVERNING AUTHORITIES SHOULD BE CONSULTED TO VERIFY THE DIMENSIONS OF THE SETBACKS SHOWN HEREON.
MAXIMUM BUILDING HEIGHT: 48 FEET
NO PARKING SPACES OBSERVED ON SITE.
NO BUILDINGS OBSERVED ON SITE.

UTILITY NOTES

THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON LOCATION OF MARKINGS PROVIDED BY:
GROUNDHAWK SUBTERRANEAN INTELLIGENCE
355 ONETA STREET, SUITE D200
ATHENS, GA. 30601
PHONE: 706-234-3618
ATTENTION: RYAN MCGRANIE
THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. UNDERGROUND UTILITIES NOT OBSERVED OR LOCATED UTILIZING THIS TECHNIQUE MAY EXIST ON THIS SITE BUT ARE NOT SHOWN, AND MAY BE FOUND UPON EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
INFORMATION REGARDING MATERIAL AND SIZE OF UTILITIES IS BASED ON RECORDS ACQUIRED FROM THE UTILITY OWNERS.

UTILITY PROVIDERS

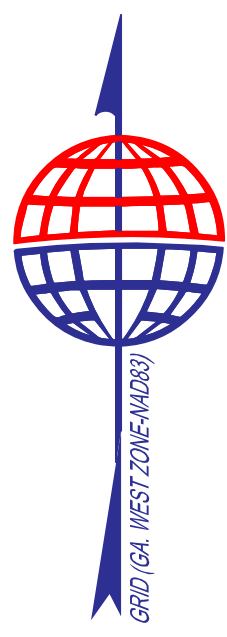
GAS	404-387-3184
ATLANTA GAS LIGHT CLAYTON	
WATER	404-546-3519
CITY OF ATLANTA	
CITY OF FAIRBURN	470-367-3817
COMMUNICATION	
AT&T	305-409-1542
COMCAST	408-708-7112
VERIZON BUSINESS	800-624-9675
BROADBAND INFRASTRUCTURE GROUP GA, LLC	678-656-1062
ELECTRIC	
COWETA FAYETTE EMC	770-252-7448
CITY OF FAIRBURN	678-201-2541
GDOT (TRAFFIC)	404-635-2800
GREYSTONE POWER CORPORATION	678-631-2444
SEWER	
FULTON COUNTY	404-612-0203

SPECIAL NOTES

- 1. CERTIFICATION AND DECLARATION IS MADE TO THE ENTITIES AS LISTED IN THE TITLE BLOCK AND/OR CERTIFICATIONS, THE CERTIFICATIONS AND DECLARATIONS ON THIS PLAT ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- 2. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
- 3. PURSUANT TO RULE 180-6.09 OF THE GEORGIA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS, THE TERM "CERTIFICATION" RELATING TO PROFESSIONAL ENGINEERING AND LAND SURVEYING SERVICES SHALL MEAN A SIGNED STATEMENT BASED UPON FACTS AND KNOWLEDGE KNOWN TO THE REGISTRANT AND IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.
- 4. TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN THE TITLE COMMITMENT, OBSERVED FROM A PHYSICAL INSPECTION OF THE SUBJECT PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.
- 5. THERE ARE NO SIGNIFICANT OBSERVATIONS ON ADJOINING PREMISES, STREETS OR ALLEYS BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE SUBJECT PROPERTY, AND NO SIGNIFICANT OBSERVATIONS ON THE SUBJECT PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON THE ADJOINING PREMISES UNLESS NOTED OR SHOWN HEREON.
- 6. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AS OF THE LAST DAY OF FIELD WORK PROVIDED IN THE SURVEY NOTES.
- 7. THERE IS NO OBSERVED EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL AS OF THE LAST DAY OF FIELD WORK PROVIDED IN THE SURVEY NOTES.
- 8. THERE IS NO OBSERVED EVIDENCE OF CEMETERIES, GRAVESITES OR BURIAL GROUNDS AS OF THE LAST DAY OF FIELD WORK PROVIDED IN THE SURVEY NOTES.
- 9. WETLAND FLAGGING PERFORMED BY OTHERS WAS OBSERVED ON THE SUBJECT PROPERTY AND IS SHOWN ON THIS SURVEY.
- 10. NO PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES WERE FOUND DURING THE COURSE OF PROPERTY RESEARCH OR FIELD WORK EXAMINATION.
- 11. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- 12. NO BUILDINGS WERE OBSERVED BY TERRAMARK AT THE TIME OF SURVEY.
- 13. NO PARKING SPACES WERE OBSERVED BY TERRAMARK AT THE TIME OF SURVEY.
- 14. THE LAND DESCRIBED ON THE SURVEY AS TRACTS "A" AND "D" ARE THE SAME AS THAT DESCRIBED IN TITLE COMMITMENT 240856GA REFERENCED HEREON.
- 15. THE LAND DESCRIBED ON THE SURVEY AS TRACT "C" IS THE SAME AS THAT DESCRIBED IN TITLE COMMITMENT 240856GA REFERENCED HEREON.
- 16. EACH SUBJECT PROPERTY FORMS A CONTIGUOUS PARCEL WITHOUT GAPS, GORES OR OVERLAPS.

RECORDING CERTIFICATE

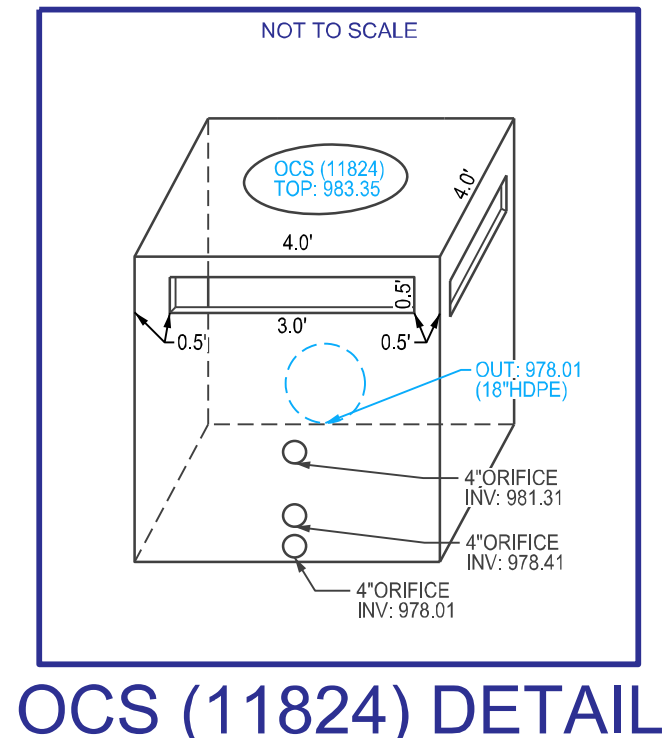
THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERGROUNDED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM



THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT.

LEGEND

- CURB AND GUTTER (C&G)
- FENCE
- HANDRAIL
- STORM DRAIN LINE
- SANITARY SEWER
- WATER LINE
- GAS LINE
- UNDERGROUND POWER LINE
- OVERHEAD POWER LINE
- COMMUNICATION
- TOPOGRAPHIC CONTOUR
- PROPERTY LINE
- CATCH BASIN (DWCB)
- CATCH BASIN (SWCB)
- DROP INLET (DI)
- JUNCTION BOX (JB)
- CURB INLET (CI)
- FLARED END SECTION (FES)
- OUTLET CONTROL STRUCTURE
- YARD DRAIN INLET
- SS MANHOLE (MH)
- CLEAN OUT (CO)
- GREASE TRAP (GT)
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT (FH)
- WATER VALVE (WV)
- WATER METER (WM)
- FIRE DEPT. CONNECTION (FDC)
- WATER VALVE MARKER
- TRANSFORMER BOX (TX)
- AIR CONDITIONER (AC)
- ELECTRIC METER (EM)
- ELECTRIC UTILITY
- LIGHT POLE (LP)
- POWER POLE WITH LIGHT
- POWER POLE (PP)
- UTILITY MANHOLE (UM)
- SPOTLIGHT
- GAS METER (GM)
- GAS VALVE (GV)
- TELEPHONE PEDESTAL
- COMMUNICATION BOX
- TRAFFIC SIGNAL
- BOLLARD (BO)
- MAIL BOX
- SIGN
- CROSSWALK SIGNAL
- SPOT ELEVATION
- CONCRETE AREA
- OVERHANG AREA
- RIP-RAP AREA
- BRICK AREA
- TREELINE



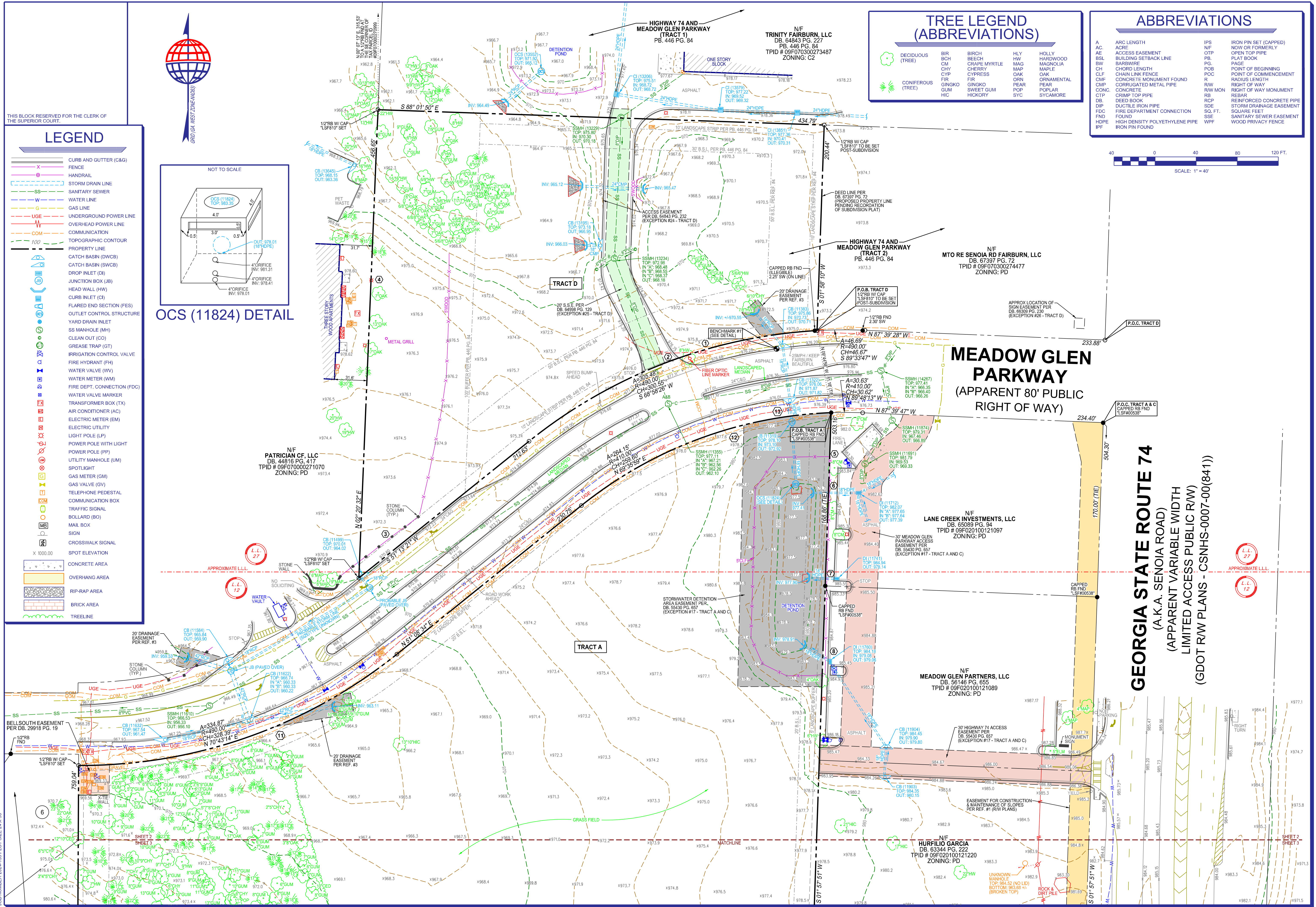
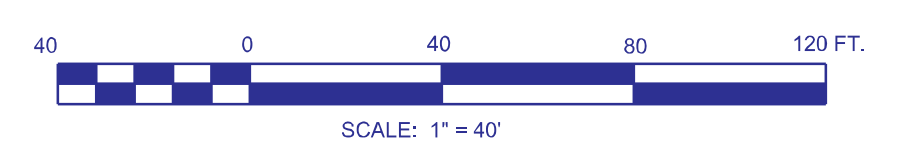
OCS (11824) DETAIL

TREE LEGEND (ABBREVIATIONS)

- DECIDUOUS (TREE)
- BIRCH
- BEECH
- CRAPE MYRTLE
- CHERRY
- CYPRESS
- FIR
- GINGKO
- GUM
- HIC
- HLY
- HW
- MAG
- MAPLE
- OAK
- ORN
- PEAR
- POPLAR
- SYCAMORE
- CONIFEROUS (TREE)
- BIRCH
- BEECH
- CHERRY
- CYPRESS
- FIR
- GINGKO
- SWEET GUM
- HICKORY

ABBREVIATIONS

- ARC LENGTH
- ACRE
- ACCESS EASEMENT
- BUILDING SETBACK LINE
- BARB WIRE
- CHAIN LENGTH
- CHAIN LINK FENCE
- CONCRETE MONUMENT FOUND
- CORRUGATED METAL PIPE
- CONCRETE
- CRIMP TOP PIPE
- DEED BOOK
- DUCTILE IRON PIPE
- FIRE DEPARTMENT CONNECTION
- FOUND
- HIGH DENSITY POLYETHYLENE PIPE
- HOPE
- IRON PIN SET (CAPPED)
- NOW OR FORMERLY
- OPEN TOP PIPE
- PLAT BOOK
- PAGE
- POINT OF BEGINNING
- POB
- POINT OF COMMENCEMENT
- R
- RADIUS LENGTH
- RIGHT OF WAY
- R/W MON
- REBAR
- REINFORCED CONCRETE PIPE
- RCP
- STORM DRAINAGE EASEMENT
- SQ. FT.
- SANITARY SEWER EASEMENT
- WOOD PRIVACY FENCE



MEADOW GLEN PARKWAY

(APPARENT 80' PUBLIC RIGHT OF WAY)

GEORGIA STATE ROUTE 74

(A.K.A. SENOIA ROAD)
(APPARENT VARIABLE WIDTH LIMITED ACCESS PUBLIC R/W)
(GDOT RW PLANS - CSNHS-0007-00(841))

N/F TRINITY FAIRBURN, LLC
DB. 64843 PG. 227
PB. 446 PG. 84
TPID # 09F070300273487
ZONING: C2

N/F MTO RE SENOIA RD FAIRBURN, LLC
DB. 67397 PG. 72
TPID # 09F070300274477
ZONING: PD

N/F LANE CREEK INVESTMENTS, LLC
DB. 65089 PG. 94
TPID # 09F020100121097
ZONING: PD

N/F MEADOW GLEN PARTNERS, LLC
DB. 56146 PG. 655
TPID # 09F020100121089
ZONING: PD

N/F HURFLO GARCIA
DB. 63344 PG. 222
TPID # 09F020100121220
ZONING: PD

N/F PATRICIAN CF, LLC
DB. 44916 PG. 417
TPID # 09F070000271070
ZONING: PD

BELLSOUTH EASEMENT PER DB. 29918 PG. 19

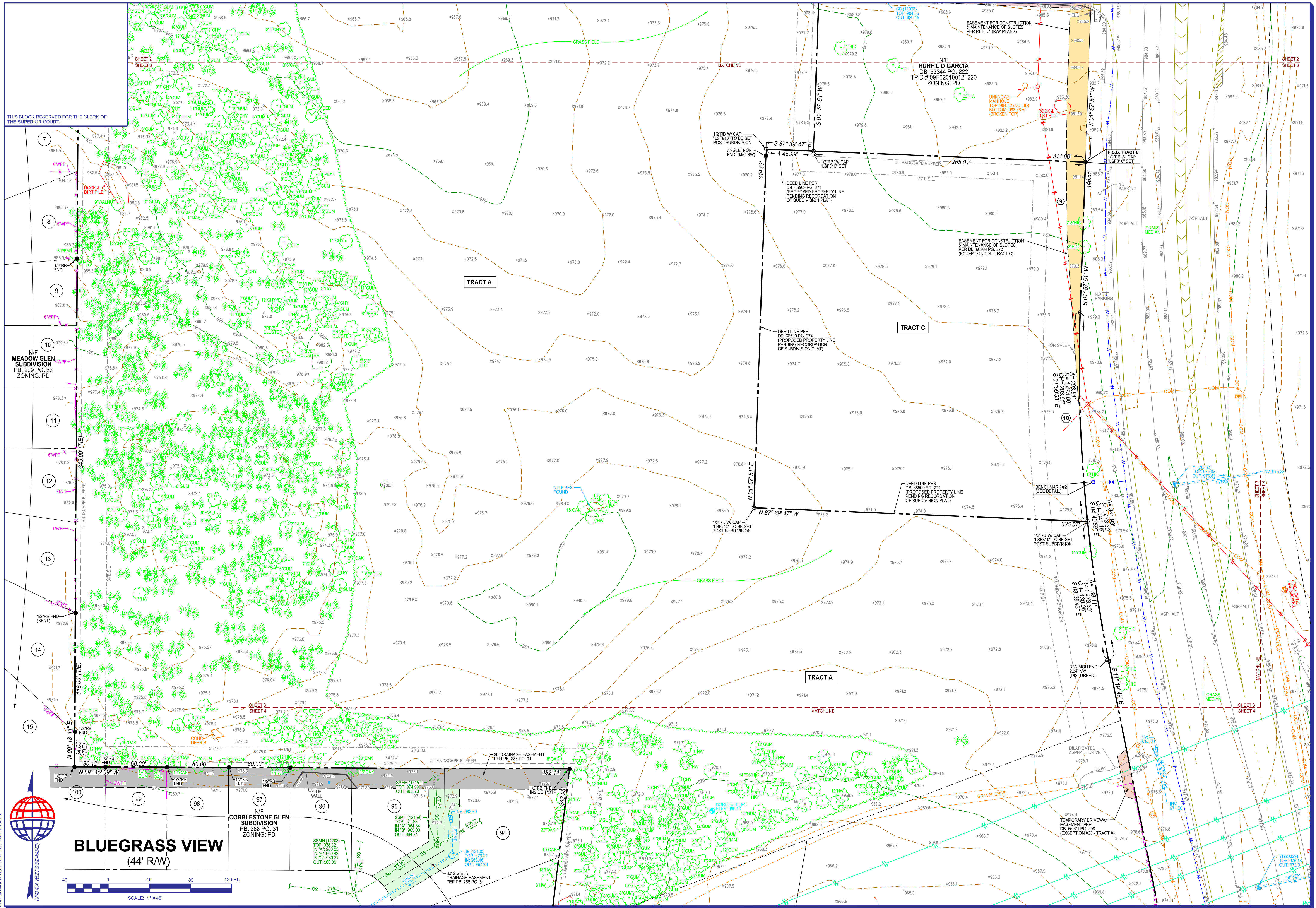
Phone No. (770) 424-1822
www.TerraMark.com
C. O. # LSF000810



Date	Revision
07/28/2024	Updated with Current Tract A and D Title Commitment

Project No.	No.	CF	AT	ADW	DR	Scale
2024-133	#1					1"=40'
	#2					
	#3					
	#4					
	#5					
	#6					
	#7					
	#8					

ALTANSPS LAND TITLE SURVEY
TRACT A & D: PORTMAN RESIDENTIAL, LLC & FIDELITY NATIONAL TITLE INSURANCE COMPANY
TRACT C: 3 PATAS REAL ESTATE INVESTMENTS LLC & FIDELITY NATIONAL TITLE INSURANCE COMPANY (MEADOW GLEN VILLAGE)
LOCATED IN LAND LOTS 12 & 27, DISTRICT 9F CITY OF FAIRBURN, FULTON COUNTY, GEORGIA

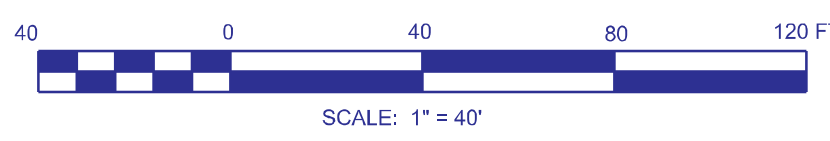


THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT

N/F MEADOW GLEN SUBDIVISION PB. 209 PG. 63 ZONING: PD

N/F COBBLESTONE GLEN SUBDIVISION PB. 288 PG. 31 ZONING: PD

BLUEGRASS VIEW
(44' R/W)



JOB NUMBER: 2024-133 PLOT SIZE: 24 X 36
GEO (CAR, WEST, ZONE, NAZD03)

Phone No. (770) 424-1022
www.TerraMark.com
C. O. # LSF000810

TerraMark Land Surveying, Inc.
1596 Balls Ferry Road
Marietta, Georgia 30066

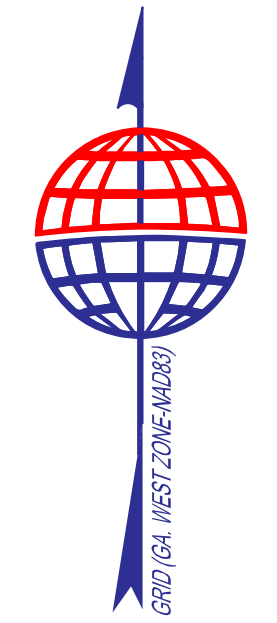
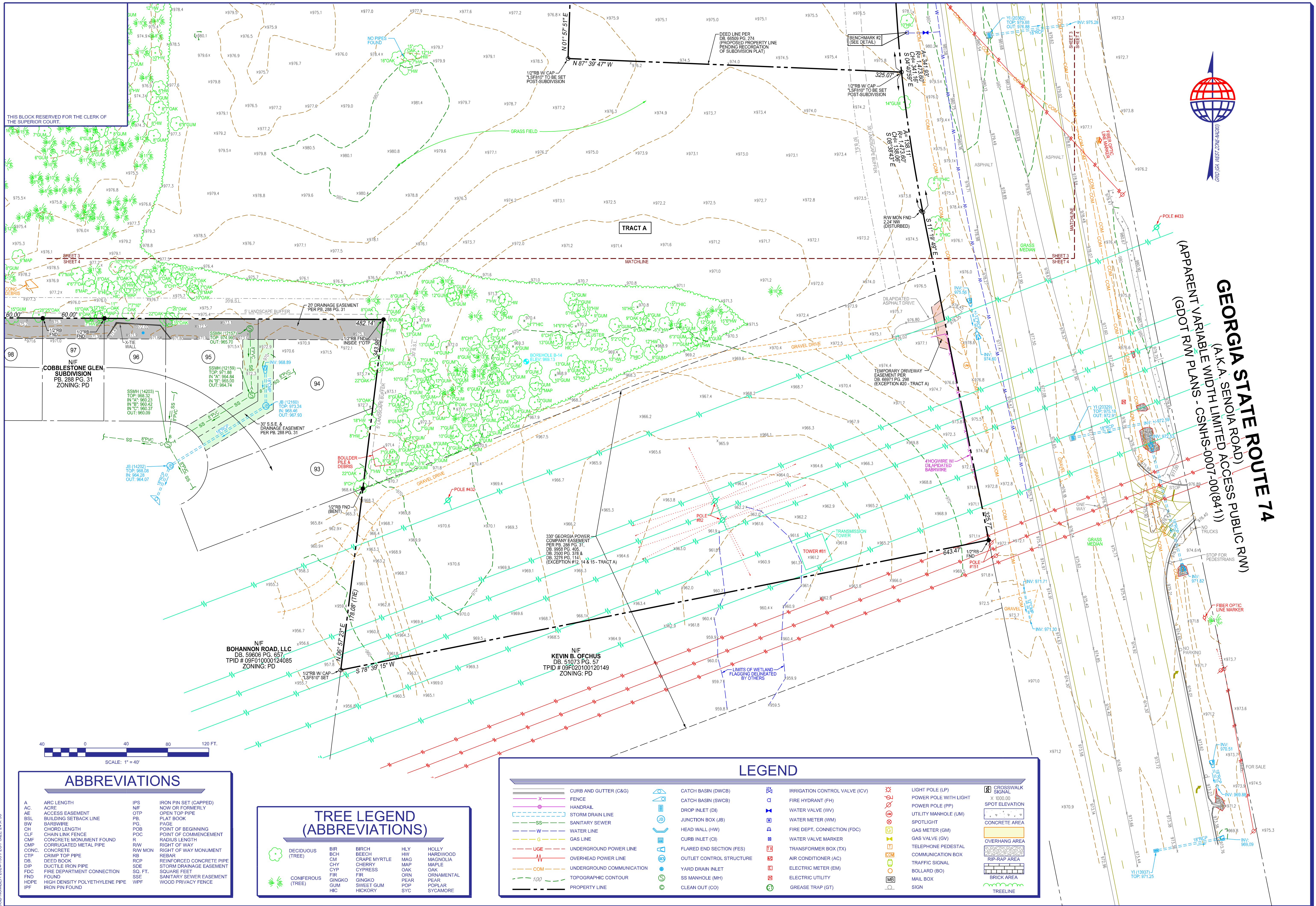
Project No.	No.	Revision	Date
2024-133	R1	Updated with Current Tract A and D Title Commitment	07/26/2024
	R2		
	R3		
	R4		
	R5		
	R6		
	R7		
	R8		

ALTA/NSP LAND TITLE SURVEY
TRACT A & D: PORTMAN RESIDENTIAL, LLC & FIDELITY NATIONAL TITLE INSURANCE COMPANY
TRACT C: 3 PATAS REAL ESTATE INVESTMENTS LLC & FIDELITY NATIONAL TITLE INSURANCE COMPANY
(MEADOW GLEN VILLAGE)

LOCATED IN
LAND LOTS 12 & 27, DISTRICT 9F
CITY OF FAIRBURN, FULTON COUNTY, GEORGIA

SHEET NO.
3
4

DRAWING# TM 24-133



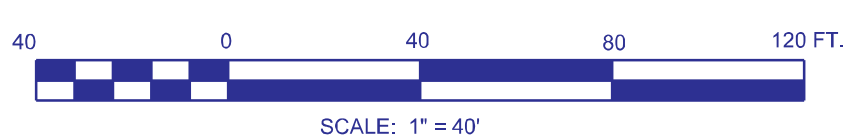
TerraMark Land Surveying, Inc.
 1596 Balls Ferry Road
 Marietta, Georgia 30066
 Phone No. (770) 424-1827
 www.TerraMark.com
 C. O. # LSF000810

Project No.	2024-133	Revision	Date
Survey Crew	CF	#1 Updated with Current Tract A and D Title Commitment	07/08/2024
Drawn By	AT		
Approved By	JDV		
Date	08/14/2024		
Scale	1"=40'		

ALTANSPS LAND TITLE SURVEY
TRACT A & D: PORTMAN RESIDENTIAL, LLC & FIDELITY NATIONAL TITLE INSURANCE COMPANY
TRACT C: 3 PATAS REAL ESTATE INVESTMENTS LLC & FIDELITY NATIONAL TITLE INSURANCE COMPANY (MEADOW GLEN VILLAGE)
 LOCATED IN LAND LOTS 12 & 27, DISTRICT 9F CITY OF FAIRBURN, FULTON COUNTY, GEORGIA

SHEET NO.
 4 / 4
 DRAWINGS# TM 24-133

GEORGIA STATE ROUTE 74
 (A.K.A. SENOIA ROAD)
 (APPARENT VARIABLE WIDTH LIMITED ACCESS PUBLIC RM)
 (GDOT RM PLANS - CSNHS-0007-00(8411))



ABBREVIATIONS

A	ARC LENGTH	IPF	IRON PIN FOUND	IPF	IRON PIN SET (CAPPED)
AC	ACRE	NF	NOW OR FORMERLY	OTF	OPEN TOP PIPE
AE	ACCESS EASEMENT	OTF	OPEN TOP PIPE	PB	PLAT BOOK
BSL	BUILDING SETBACK LINE	PG	PAGE	POB	POINT OF BEGINNING
BW	BARBWARE	POC	POINT OF COMMENCEMENT	R	RADIUS LENGTH
CH	CHAIN LENGTH	RW	RIGHT OF WAY	RW MON	RIGHT OF WAY MONUMENT
CLF	CHAIN LINK FENCE	RCF	REINFORCED CONCRETE PIPE	REB	REBAR
CMF	CONCRETE MONUMENT FOUND	RCP	REINFORCED CONCRETE PIPE	RDE	REINFORCED CONCRETE PIPE
CMR	CORRUGATED METAL PIPE	R	RADIUS LENGTH	RDE	REINFORCED CONCRETE PIPE
CONC.	CONCRETE	SQ. FT.	SQUARE FEET	SSE	SANITARY SEWER EASEMENT
CTP	CRIMP TOP PIPE	WVP	WOOD PRIVACY FENCE		
DB	DEED BOOK				
DIP	DUCTILE IRON PIPE				
FDC	FIRE DEPARTMENT CONNECTION				
FND	FOUND				
HDPE	HIGH DENSITY POLYETHYLENE PIPE				
IPF	IRON PIN FOUND				

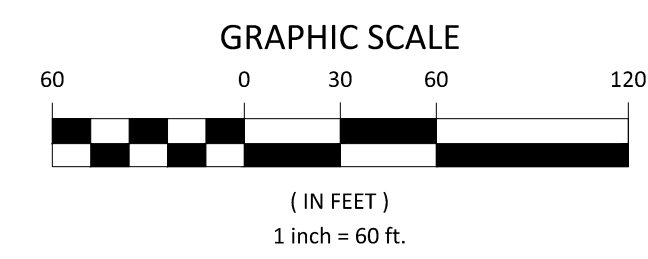
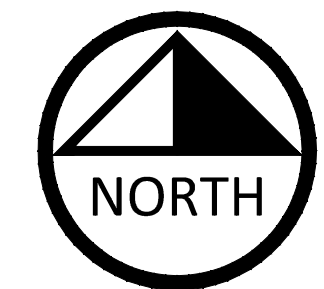
TREE LEGEND (ABBREVIATIONS)

(Tree Symbol)	DECIDUOUS (TREE)	BIR	BIRCH	HLV	HOLLY
(Tree Symbol)	CONIFEROUS (TREE)	BCH	BEECH	HW	HARDWOOD
		CM	CHERRY	MAG	MAGNOLIA
		CHY	CHERRY	MAP	MAPLE
		CYP	CYPRESS	OAK	OAK
		FIR	FIR	ORN	ORNAMENTAL
		GINGKO	GINGKO	PEAR	PEAR
		GUM	SWEET GUM	POP	POPULAR
		HIC	HICKORY	SYC	SYCAMORE

LEGEND

(Symbol)	CURB AND GUTTER (C&G)	(Symbol)	CATCH BASIN (DWCB)	(Symbol)	IRRIGATION CONTROL VALVE (ICV)	(Symbol)	LIGHT POLE (LP)	(Symbol)	CROSSWALK SIGNAL
(Symbol)	FENCE	(Symbol)	CATCH BASIN (SWCB)	(Symbol)	FIRE HYDRANT (FH)	(Symbol)	POWER POLE WITH LIGHT	(Symbol)	SPOT ELEVATION
(Symbol)	HANDRAIL	(Symbol)	DROP INLET (DI)	(Symbol)	WATER VALVE (WV)	(Symbol)	UTILITY MANHOLE (UM)	(Symbol)	CONCRETE AREA
(Symbol)	STORM DRAIN LINE	(Symbol)	JUNCTION BOX (JB)	(Symbol)	WATER METER (WM)	(Symbol)	GAS VALVE (GV)	(Symbol)	OVERHANG AREA
(Symbol)	SANITARY SEWER	(Symbol)	HEAD WALL (HW)	(Symbol)	FIRE DEPT. CONNECTION (FDC)	(Symbol)	GAS VALVE (GV)	(Symbol)	RIP-RAP AREA
(Symbol)	WATER LINE	(Symbol)	CURB INLET (CI)	(Symbol)	WATER VALVE MARKER	(Symbol)	TELEPHONE PEDESTAL	(Symbol)	BRICK AREA
(Symbol)	GAS LINE	(Symbol)	FLARED END SECTION (FES)	(Symbol)	TRANSFORMER BOX (TX)	(Symbol)	COMMUNICATION BOX	(Symbol)	TREELINE
(Symbol)	UNDERGROUND POWER LINE	(Symbol)	OUTLET CONTROL STRUCTURE	(Symbol)	AIR CONDITIONER (AC)	(Symbol)	TRAFFIC SIGNAL		
(Symbol)	OVERHEAD POWER LINE	(Symbol)	YARD DRAIN INLET	(Symbol)	ELECTRIC METER (EM)	(Symbol)	BOLLARD (BO)		
(Symbol)	UNDERGROUND COMMUNICATION	(Symbol)	SS MANHOLE (MH)	(Symbol)	ELECTRIC UTILITY	(Symbol)	MAIL BOX		
(Symbol)	TOPOGRAPHIC CONTOUR	(Symbol)	CLEAN OUT (CO)	(Symbol)	GREASE TRAP (GT)		SIGN		
(Symbol)	PROPERTY LINE								

JOB NUMBER: 2024-133 PLOT SIZE: 24 X 36



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	MIN. SIZE	CONTAINER	SPACING
TREES					
	APBG	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple	10' Ht.	B&B	
	AO	Acer rubrum 'October Glory' / October Glory Red Maple	2' Cal.	B&B	
	GM	Ginkgo biloba 'Magyar' / Magyar Maidenhair Tree	3' Cal.	B&B	
	LT	Liriodendron tulipifera 'Arnold' / Arnold Tulip Poplar	2' Cal.	B&B	
	NS	Nyssa sylvatica / Tupelo	3' Cal.	B&B	
	PC	Pistacia chinensis / Chinese Pistache	3' Cal.	B&B	
	QNU	Quercus nuttallii / Nuttall Oak	3' Cal.	B&B	
	QE	Quercus phellos 'QPSTA' / Hightower® Willow Oak	3' Cal.	B&B	
	QC	Quercus robur x alba 'Crimschmidt' / Crimson Spire™ Oak	4' Cal.	B&B	
	TD	Taxodium distichum 'JFS-SGPN' TM / Green Whisper Bald Cypress	2' Cal.	B&B	
DECIDUOUS TREES					
	ST2	Salix alba 'Tristis' / Golden Weeping Willow	2.5' Cal.	B&B	
EVERGREEN TREES					
	CD4	Cedrus deodara / Deodar Cedar	8' Ht.	B&B	
	IO	Ilex opaca / American Holly	8' Ht.	B&B	
	IN	Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly	6' Ht.	B&B	
	JB	Juniperus virginiana 'Brodie' / Brodie Eastern Redcedar	6' Ht.	Pot	
	MB2	Magnolia grandiflora 'Brackens Brown Beauty' / Bracken's Beauty Southern Magnolia	8'-10' Ht.	B&B	
	ML	Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia	8' Ht.	B&B	
	MG	Magnolia grandiflora 'TMGH' TM / Alta Southern Magnolia	8' Ht.	B&B	
	PT	Pinus taeda / Loblolly Pine	6' Ht.	15 Gal.	
	PV3	Pinus virginiana / Virginia Pine	6' Ht.	B&B	
	TI	Thuja occidentalis 'Emerald' / Emerald Arborvitae	8' Ht.	B&B	
FLOWERING TREES					
	CF2	Cornus florida 'Cherokee Princess' / Cherokee Princess Dogwood	1.5' Cal.	B&B	
	LL	Lagerstroemia indica x fauriei 'Lipan' / Lipan Crape Myrtle	8' Ht.	B&B	
	LI	Lagerstroemia indica x fauriei 'Sioux' / Sioux Crape Myrtle	8' Ht.	B&B	
	PY	Prunus x yedoensis / Yoshino Cherry	2' Cal.	B&B	
SHRUBS					
	BG	Buxus x 'Green Mountain' / Green Mountain Boxwood	3' Ht.	B&B: Full to ground.	30" o.c.
	LR	Loropetalum chinense rubrum / Purpleleaf Fringe Flower	7 gal.	Pot	72" o.c.
SHRUB AREAS					
	IB	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	7 GAL	Pot	36" o.c.
	JB2	Juniperus horizontalis 'Blue Rug' / Blue Rug Juniper	3 gal.	Pot	36" o.c.
SOD/SEED					
	CD2	Cynodon dactylon / Bermuda Grass			
	CD	Cynodon dactylon x transvaalensis 'DT-1' TM / TifTuf Bermudagrass			
	MGM	Meadow Grass Mix / Meadow Grass Mix			
	SS	Schizachyrium scoparium 'Blue Heaven' / Blue Heaven Little Bluestem			
	SN	Sorghastrum nutans / Indian Grass			

Date	8/7/24
By	8/19/24

Project No.	S23017
Design By:	DJP
Drawn By:	DJP
Checked By:	DJP
Date:	10/26/2024
Scale:	1" = 60'

No.	Revision Schedule
1	ADDRESS: ZONING COMMENTS
2	ADDRESS: ADDITIONAL ZONING COMMENTS

CONSULTANT:

09-29-2023

SEAL:



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PROJECT NUMBER: FAIRBURN, GA
COASTAL MASTER SET
 CLIENT: PORTMAN RESIDENTIAL
 303 PEACHTREE CENTER
 AVE NE SUITE 575
 ATLANTA, GA 30303

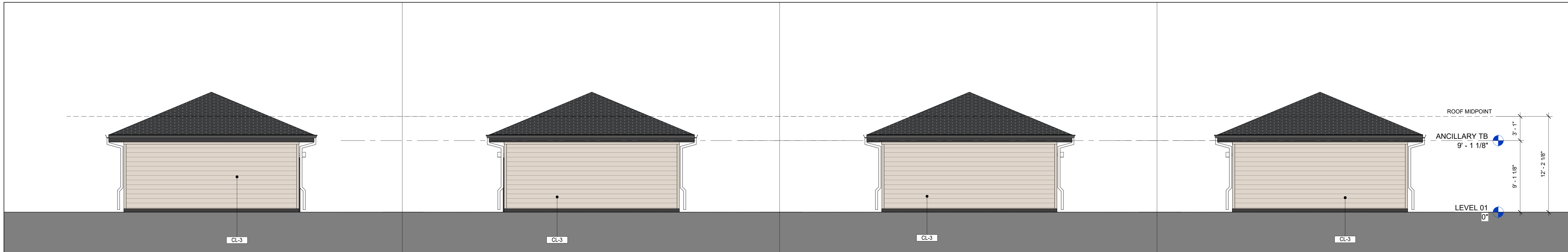
PROJECT NUMBER: FAIRBURN, GA
COASTAL MASTER SET
 CLIENT: PORTMAN RESIDENTIAL

△ DRAWING RELEASE DATE

TITLE:
BUILDING ELEVATIONS - ANCILLARY BUILDINGS

SHEET NUMBER:

A4-61

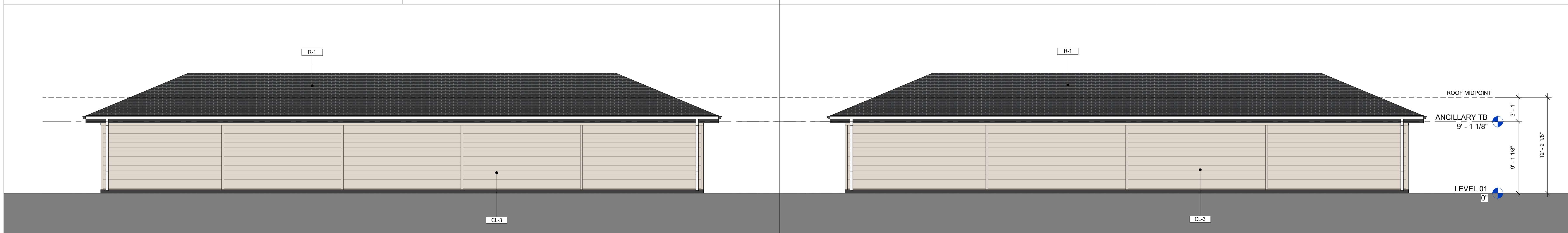


8 GARAGE ADA - SIDE ELEVATION
 SCALE: 3/16" = 1'-0"

7 GARAGE ADA - SIDE ELEVATION
 SCALE: 3/16" = 1'-0"

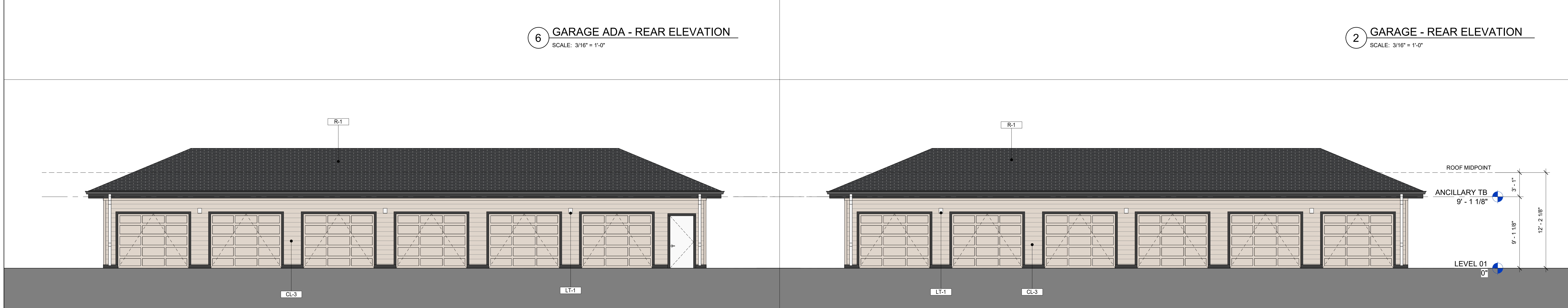
4 GARAGE - SIDE ELEVATION
 SCALE: 3/16" = 1'-0"

3 GARAGE - SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



6 GARAGE ADA - REAR ELEVATION
 SCALE: 3/16" = 1'-0"

2 GARAGE - REAR ELEVATION
 SCALE: 3/16" = 1'-0"

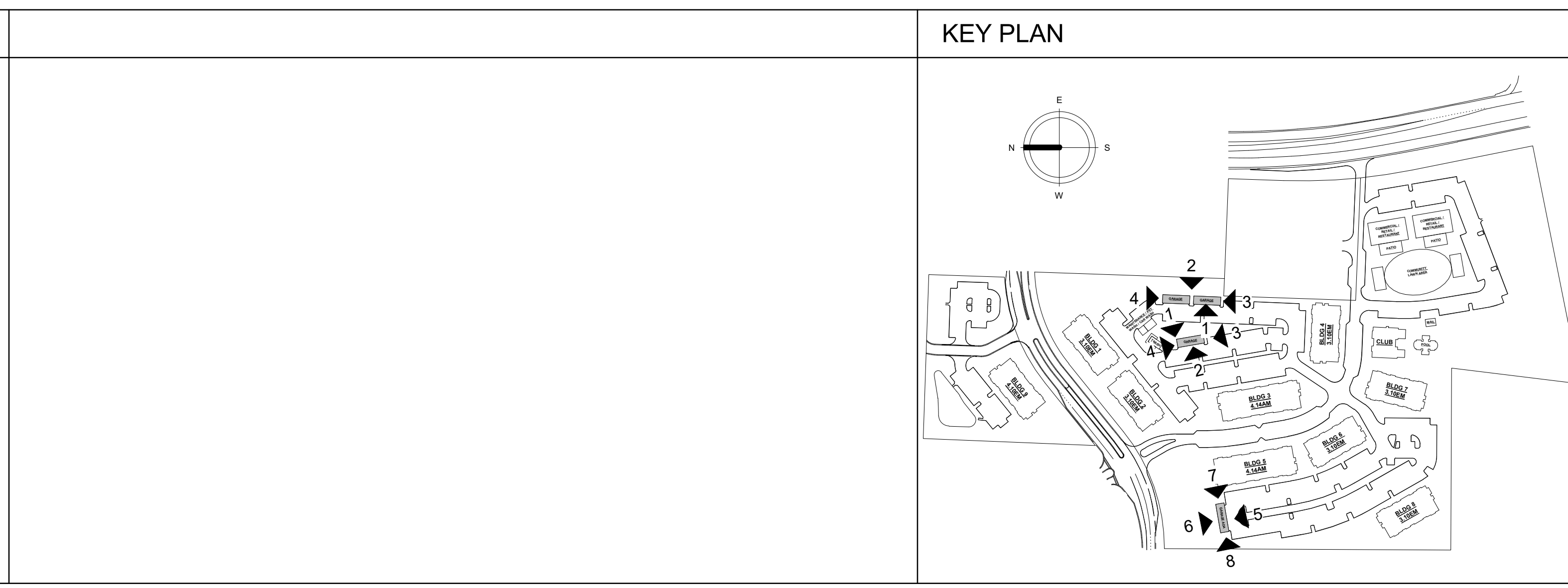


5 GARAGE ADA - FRONT ELEVATION
 SCALE: 3/16" = 1'-0"

1 GARAGE - FRONT ELEVATION
 SCALE: 3/16" = 1'-0"

LEGEND			GENERAL NOTE				
TAG	DESCRIPTION	COLOR	MANUFACTURER	TAG	DESCRIPTION	COLOR	MANUFACTURER
CL-1	FIBER CEMENT WOOD GRAIN LAP SIDING - 7" EXPOSURE W/SMOOTH TRIM	TBD	JAMES HARDIE	DR-1	EXTERIOR DOOR	TBD	MASONITE
CL-2	FIBER CEMENT WOOD GRAIN LAP SIDING - 7" EXPOSURE W/SMOOTH TRIM	TBD	JAMES HARDIE	DR-2	EXTERIOR UTILITY DOOR	TBD	MASONITE
CL-3	FIBER CEMENT WOOD GRAIN LAP SIDING - 10.75" EXPOSURE W/SMOOTH TRIM	TBD	JAMES HARDIE	LT-1	EXTERIOR LIGHT FIXTURE	TBD	DAVIS LIGHTING
CL-4	FIBER CEMENT WOOD GRAIN LAP SIDING - 10.75" EXPOSURE W/SMOOTH TRIM	TBD	JAMES HARDIE	MR-1	42" ALUMINUM PICKET RAILING	WHITE	N/A
CP-1	FIBER CEMENT PANEL (4'X10') W/ 4" SMOOTH TRIM	TBD	JAMES HARDIE	MR-2	STAIR RAILING	TBD	N/A
CP-2	FIBER CEMENT PANEL (4'X10') W/ 4" SMOOTH TRIM	TBD	JAMES HARDIE	R-1	ROOF - ASPHALT SHINGLES	TBD, MFG STANDARD COLORS	TAMKO HERITAGE
CP-3	FIBER CEMENT PANEL (4'X10') W/ BATTEN TRIM @ 1'-6" SPACING; SEE ELEVATIONS	TBD	JAMES HARDIE	VW-1	VINYL WINDOW	WHITE EXTERIOR WHITE INTERIOR	PLYGEM
CP-4	FIBER CEMENT PANEL (4'X10') W/ BATTEN TRIM @ 1'-6" SPACING; SEE ELEVATIONS	TBD	JAMES HARDIE	WC-1	WALL CAP VENT W/ PLINTH BLOCK	TBD	SEE MECH PLANS
CF-1	FIBER CEMENT FASCIA	TBD	JAMES HARDIE	A	BRACKET - 2'X4'	TBD	TBD
CT-1	FIBER CEMENT TRIM	TBD	JAMES HARDIE	COMPACTOR ENCLOSURE			
CT-2	FIBER CEMENT TRIM	TBD	JAMES HARDIE	PC-1	POURED ROUNDED WALL CAP	UNFINISHED	N/A
DS-1	DOWNSPOUT	TBD, MFG STANDARD COLORS		SB-1	SPLIT-FACE BLOCK	UNFINISHED	N/A
BR-1	BRICK VENEER WITH WHITE MORTAR	TBD	TBD				

1. INSTALL CAP FLASHING AT THE TOP OF THE FIBER CEMENT TRIM AT WINDOW AND DOOR UNITS. TYPICAL. REFER TO WINDOW DETAILS ON A8-21 AND DOOR DETAILS ON A8-12.
 2. LOWER 4'-0" OF SHEATHING TO BE PT PLYWOOD AT EXTERIOR WALLS AND BREEZEWAYS, TYPICAL.
 3. INSTALL EXHAUST VENTS WITH 8" MINIMUM SEPARATION BETWEEN OPENINGS.





POWER
EASEMENT

TRACT 2
~ 2.5 ACRES

SENOIA ROAD







